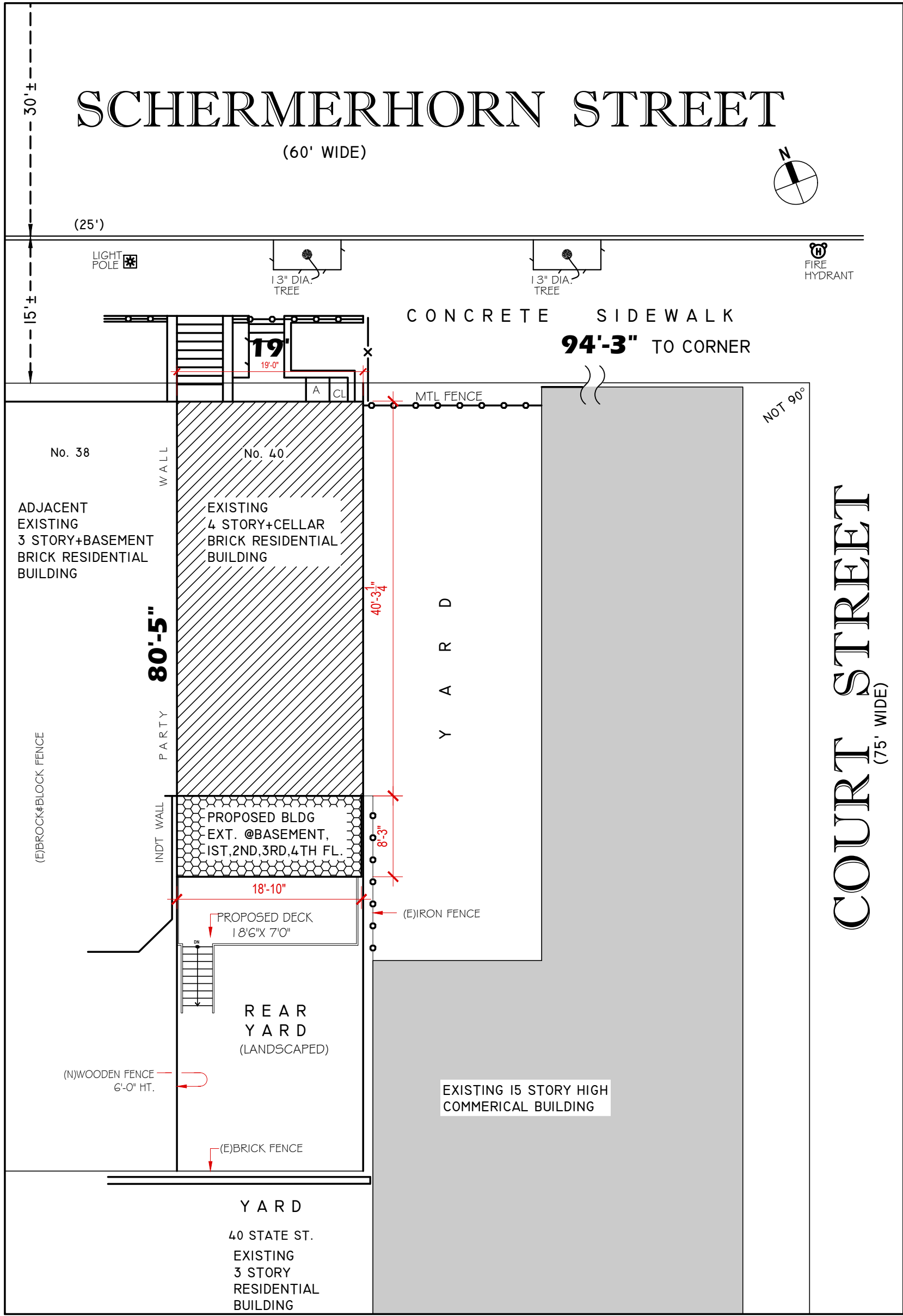


40 SCHERMERHORN STREET RESIDENCE, BROOKLYN, NY 11201

LANDMARKS PRESERVATION COMMISSION
ELECTRONIC APPROVAL - 05/01/2023 - LP



PROPERTY INFORMATION

ADDRESS: 40 SCHERMERHORN ST
BLOCK/ LOT#: 270/ 46
BIN#: 3002693
CB#: 302
ZONING: R6, C6-2A (R8A EQUIVALENT)
ZONING MAP: 16C
SPECIAL DISTRICT: DB (DOWNTOWN BROOKLYN), LH-1(LIMITED HEIGHT DISTRICT)
LANDMARK: YES,
HPD MULTIPLE HOUSING: YES (EXISTING),
TA RESTRICTED: NO
ENVIRONMENTAL RESTRICT.: NO
CONSTRUCTION CLASSIFICATION: II-B (REFER TO TABLE 3-4 FOR REQUIRED FIRE-RESISTANCE RATINGS)

RENOVATION OF EXISTING 4 STORY MULTI-FAMILY DWELLING

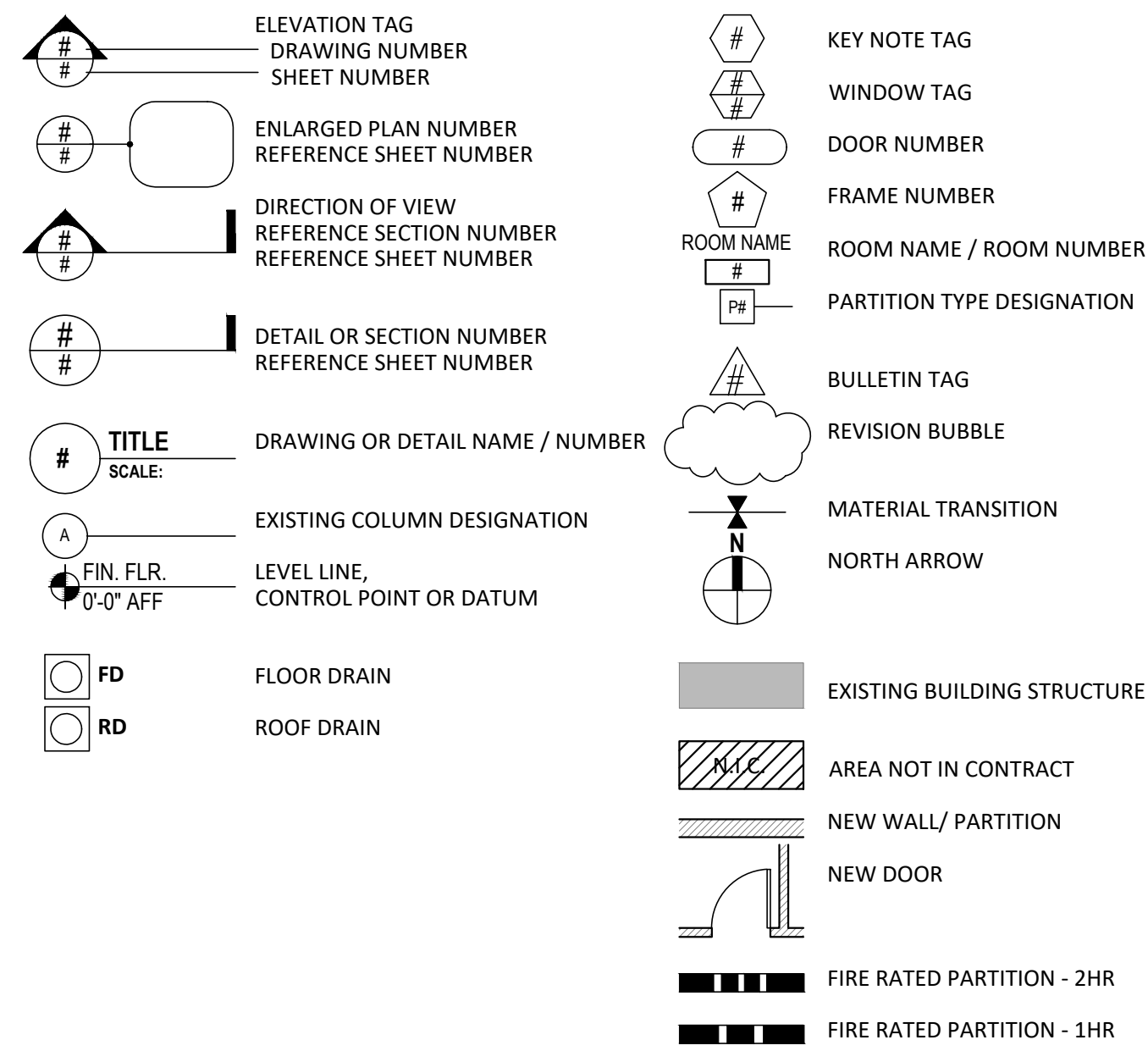
TENANT PROTECTION NOTES:

- PER 2014 §28-104.8.4, TENANT PROTECTION PLAN CONSTRUCTION DOCUMENTS FOR ALTERATIONS OF BUILDINGS IN WHICH ANY DWELLING UNIT WILL BE OCCUPIED DURING CONSTRUCTION SHALL INCLUDE A TENANT PROTECTION PLAN.

NOT APPLICABLE
THERE SHALL BE **NO OCCUPIED DWELLING** DURING ENTIRE DURATION OF RENOVATION

- CONSTRUCTION WORK SHALL NOT BLOCK HALLWAYS OR MEANS OF EGRESS. SHALL BE CONFINED TO NORMAL WORKING HOURS 8:00AM TO 5:00PM, MONDAY THROUGH FRIDAY EXCEPT LEGAL HOLIDAYS.

SYMBOL / KEY LEGEND



ABBREVIATION

A/C	AIR CONDITIONING	FT.	FEET	QUAL.	QUALITY
ADJ.	ADJUSTABLE/ ADJACENT	F.T.F.	FACE TO FACE	QTY.	QUANTITY
ALUM.	ALUMINUM	GA.	GAUGE	R/A	RETURN AIR
ANOD.	ANODIZED	GFI.	GROUND FAULT	R	RADIUS
APPROX.	APPROXIMATE	GEN.	CIRCUIT INTERRUPTER	RECEP.	RECEPTACLE
ARCH.	ARCHITECT(U)RAL	GL.	GLASS OR GLAZED	REF.	REFERENCE OR REFLECTED
AVG.	AVERAGE	GYP.	GYPSUM	RESIL.	RESILIENT
A.F.F.	ABOVE FINISH FLOOR	GW.B.	GYPSUM WALL BOARD	R.H.	RIGHT HAND
BD.	BOARD	HDWR.	HARDWARE	R.M.	ROUGH OPENING
BLDG.	BUILDING	H.M.	HOLLOW METAL	REV.	REVISION
BLKG.	BLOCKING	HORIZ.	HORIZONTAL	S.C.	SCHEDULE
B.O.	BOTTOM OF	INCL.	INCLUDING	SCHED	SCHEDULE
BSMT.	BASEMENT	INCAN.	INCANDESCENT	SECT.	SECTION(AL)
C.L.	CENTER LINE	INT.	INTERIOR	SIM.	SIMILAR
CL.	CLOSET	JAN.	JANITOR	S.F.	SQUARE FEET
CLG.	CEILING	JAN.	JANITOR	SQ.	SQUARE
COL.	COLUMN	LAM.	LAMINATE	S.S.	STAINLESS STEEL
CONC.	CONCRETE	L.H.	LEFT HAND	STD.	STANDARD
CONST.	CONSTRUCTION	L.F.	LINEAR FEET	STL.	STEEL
CONT.	CONTINUOUS	MAX.	MAXIMUM	STRUC.	STRUCTURAL
CORR.	CORRIDOR	MECH.	MECHANICAL	SUSP.	SUSPENDED
CM	CONSTRUCTION MANAGER	MTL.	METAL	SYMM.	SYMMETRICAL
DBL.	DOUBLE	MEZZ.	MEZZANINE	SYS.	SYSTEM
DET.	DETAIL	MFR.	MANUFACTURER	S.P.	STARTING POINT
DIA.	DIAMETER	MGR.	MANAGER	TECH.	TECHNICAL
D.	DIMENSION	MIN.	MINIMUM	TEL.	TELEPHONE
DN	DOWN	MIRR.	MIRROR	TEMP.	TEMPERED
DWG.	DRAWING	MISC.	MISCELLANEOUS	THK.	THICKNESS
EA.	EACH	MOUNTED		TYP.	TYPICAL
ELEC.	ELECTRIC	N.I.C	NOT IN CONTRACT	T.O.	TRIM OPENING
ELEV.	ELEVATION	N	NUMBER	T.O.S	TOP OF STEEL/ OR SLAB
ENGR.	ENGINEER	N.T.S.	NOT TO SCALE	TECH.	TECHNICAL
EQ.	EQUIPMENT	O.C.	ON CENTER	U.L.	UTILITY
EQUIP.	EQUIPMENT	O.H.	OPPOSITE HAND	U.O.N.	UNLESS OTHERWISE NOTED
EXH.	EXHAUST	PART. BD.	PARTICLE BOARD	VERT.	VERTICAL
EXT.	EXTERIOR	P. LAM.	PLASTIC LAMINATE	VEST.	VESTIBULE
EXIST.	EXISTING	PLYWD.	PLYWOOD	V.I.F.	VERIFY IN FIELD
FF	FINISH FLOOR	PREP.	PREPARATION	W/	WITH
FIN.	FINISH(ED)	PREFAB.	PREFABRICATED	W.C.	WATER CLOSET
FL.	FLOOR	PROJ.	PROJECT	WD	WOOD
FIN.D.	FLOOR DRAIN	PWD.R.	POWDER ROOM	W.H.	WATER HEATER
FLUOR.	FLUORESCENT			W/O	WITHOUT
F.O.F	FACE OF FINISH				
F.O.S	FACE OF STEEL/ STUD				

GENERAL NOTES

- ALL WORK SHALL COMPLY WITH THE INDICATED NYC BUILDING CODES AS WELL AS ALL APPLICABLE CODES, RULES AND REGULATIONS AS WELL AS ANY AND ALL REGULATORY AGENCIES INCLUDING BUT NOT LIMITED TO OSHA, DOH, ADA, ETC. GENERAL NOTES SHALL APPLY TO ALL DRAWINGS.
- THE GENERAL CONTRACTOR SHALL VERIFY ALL JOB CONDITIONS, DIMENSIONS AND DETAILS PRIOR TO CONSTRUCTION, AND AS ANTICIPATED OR INFERRED PRIOR TO COMMENCEMENT OF WORK. ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES OR OMISSIONS WHICH WOULD INTERFERE WITH THE SATISFACTORY COMPLETION OF THE WORK, PRIOR TO THE START OF ANY AND ALL WORK.
- ALL WORK, WHETHER SHOWN OR IMPLIED, UNLESS SPECIFICALLY QUESTIONED, SHALL BE CONSIDERED FULLY UNDERSTOOD IN ALL RESPECTS BY THE GENERAL CONTRACTOR, AND HE WILL BE RESPONSIBLE FOR ANY MISINTERPRETATIONS OR CONSEQUENCES THEREOF FOR ALL WORK ON ALL DRAWINGS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING OF THE BUILDING PERMIT, PAYMENT OF ALL APPLICABLE FEES AND SCHEDULING ALL REQUIRED PROGRESS/ FINAL INSPECTIONS AND OBTAINING THE JOB SIGN-OFF AT THE END OF PROJECT.
- THE GENERAL CONTRACTOR SHALL SCHEDULE ALL WORK TO CONFORM TO THE GENERAL CONSTRUCTION SCHEDULE AND SHALL COORDINATE ENTIRE WORK WITH OTHER TRADES IN THE REQUIRED SEQUENTIAL INSTALLATION SCHEDULE.
- ALL MANUFACTURED ARTICLES, MATERIAL AND EQUIPMENT SHALL BE SUPPLIED, INSTALLED, CONNECTED, ERECTED, USED, CLEANED AND CONDITIONED AS DIRECTED BY THE MANUFACTURERS UNLESS OTHERWISE SPECIFIED ON THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL COMPLY IN ALL RESPECTS WITH THE RULES AND REGULATIONS OF THE BUILDING MANAGEMENT. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN SUCH REGULATIONS FROM THE BUILDING OWNER. IN THE RESULT OF CONFLICT BETWEEN BUILDING REGULATIONS AND OTHER CONTRACT DOCUMENTS, ARCHITECT SHALL BE CONSULTED PRIOR TO PROCEEDING.
- DRAWINGS ARE NOT TO BE SCALED; WRITTEN DIMENSIONS GOVERN.
- THE CONTRACTOR SHALL WARRANT THE WORK TO BE FREE FROM DEFECTIVE MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE (1) YEAR AFTER OCCUPANCY OF THE PREMISES UNLESS OTHERWISE AGREED.

NYC DOB APPROVAL NOTES

THIS PLAN IS APPROVED ONLY FOR THE WORK INDICATED ON THE APPLICATION SPECIFICATION SHEET. ALL OTHER MATTERS SHOWN ARE NOT TO BE RELIED UPON OR TO BE CONSIDERED AS EITHER BEING APPROVED OR IN ACCORDANCE WITH APPLICABLE CODES.

SUMMARY OF WORKSCOPE

- THIS APPLICATION IS FILED FOR BUILDING RENOVATION OF EXISTING 4 STORY, MULTI-FAMILY DWELLING RESIDENTIAL BUILDING, WORK INCLUDES
 - CHANGES OF EXISTING 4 FAMILY DWELLING TO 2 FAMILY DWELLING
 - HORIZONTAL FLOOR ENLARGEMENT AT BASEMENT, 1ST, 2ND, 3RD, 4TH FLOOR @ REAR YARD
 - RENOVATE INTERIOR OF BUILDING @ ALL FLOORS BY
 - INSTALLATION OF NEW INTERIOR PARTITIONS AND FINISHES PER DRAWINGS.
 - INSTALLATION OF NEW INTERIOR DOORS, HARDWARE & FIXTURES
 - INSTALLATION OF NEW INTERIOR STAIRS THROUGHOUT ENTIRE FLOORS
 - ADJUST BASEMENT & CELLAR FLOOR LEVEL PER PLAN
 - INSTALL NEW LIGHT FIXTURE
 - UPGRADE EXISTING HVAC SYSTEM WITH NEW
 - UPGRADE EXISTING PLUMBING FIXTURE & EQUIPMENTS WITH NEW
- BUILDING EXTERIOR WORK SHALL INCLUDE
 - INSTALLATION OF NEW CORNICE @ FRONT FACADE & OTHER HISTORICAL ARCHITECTURAL DETAILS TO CLOSE TO THE ORIGINAL BUILDING DESIGN
 - LPC FILING
 - INSTALLATION OF NEW EXTERIOR WINDOWS @ REAR OF THE BUILDING.
 - INSTALLATION OF NEW DECK, PATIO @ REAR YARD

DRAWING SCHEDULE

ARCHITECTURAL	TITLE
T-100	TITLE COVERSHEET
Z-100	ZONING ANALYSIS
Z-101	CODE COMPLIANCE

DM-100	DEMOLITION PLANS
DM-101	DEMOLITION PLANS
A-200	FLOOR PLANS
A-201	FLOOR PLANS
A-202	FLOOR PLANS

A-300	REFLECTED CEILING PLANS
A-301	REFLECTED CEILING PLANS
A-500	BUILDING FRONT ELEVATION & DETAILS
A-501	BUILDING REAR ELEVATION & DETAILS
A-600	BUILDING SECTION

ENGINEERING : REFER TO ENGINEERING PLANS

- *STRUCTURAL APPLICATION SHALL BE FILED SEPARATELY.
- *MECHANICAL, PLUMBING APPLICATION SHALL BE FILED SEPARATELY.

PROJECT :

40 SCHERMERHORN STREET
RESIDENCE
Brooklyn, NY 11201

PROPERTY OWNER :

Ju Young Oh & Michael Kang
40 Schermerhorn Street
Brooklyn, NY 11201
T. 646.915.2399
Contact :
Michael Kang, owner, mskpublic@yahoo.com
Juyoung Oh, owner, juyoungoh@gmail.com

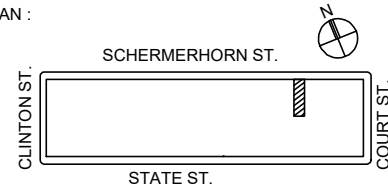
ARCHITECT :

KLC ARCHITECTS, PC
180 Maiden Lane, Suite#8A
New York, NY 10038
T. 212.947.0880,
Contact: Jay Cho, RA jc@klcapc.com

STRUCTURAL ENGINEER :

LB ENGINEERING, PC
325 West 38th Street, Suite 704
New York, NY 10018
T. 201.983.3344
Contact: James Gwangjin Oh, PE
james.benatg@gmail.com

KEY PLAN :



REV.	DATE	REV. PER	LPC	COMMENTS
6	4/13/23	REV.	PER LPC	COMMENTS
5	7/15/22	DOB FILING		
4	4/15/22	LPC FILING REV1		
3	2/5/22	LPC FILING		
2	2/2/22	OWNER REVIEW		
1	12/15/21	OWNER REVIEW		

NO. DATE :

ISSUE :

DOB STAMP

DOB B-SCAN JOB # STICKER
DOB NOW #B00679292-11
07/05/2022 Issued for Construction

SEAL & SIGNATURE :



SHEET TITLE :

COVER SHEET / NOTES

SCALE :

DATE :

PROJECT No. : 210103

DRAWING BY : DK

CHK BY : JC

SHEET NUMBER :

T.100.00

CAD FILE No. :

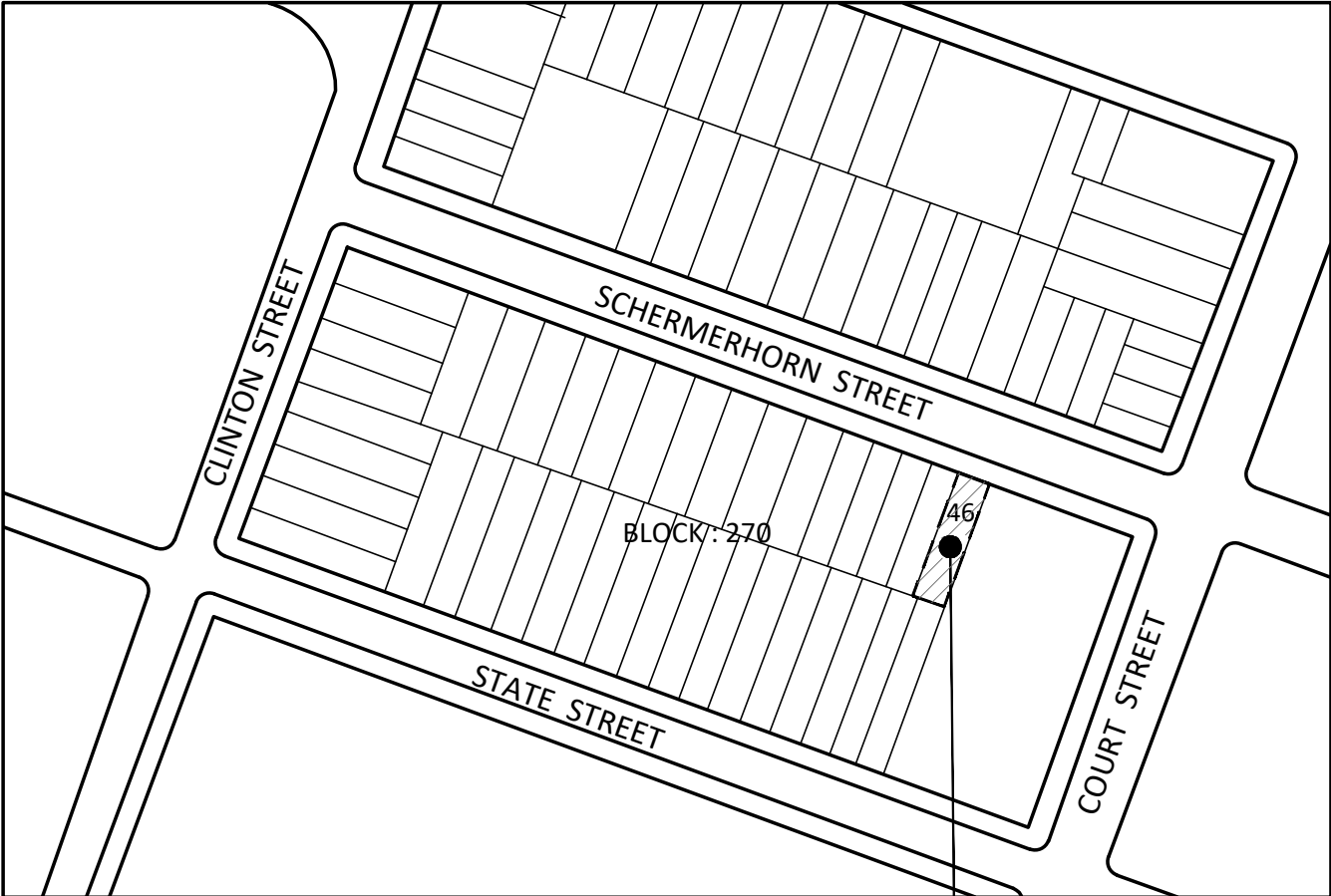
KLC\210101\DRAWINGS\

PAGE No. :

1 of 1

LANDMARKS PRESERVATION COMMISSION
ELECTRONIC APPROVAL - 05/01/2023 - LP

PLOT PLAN

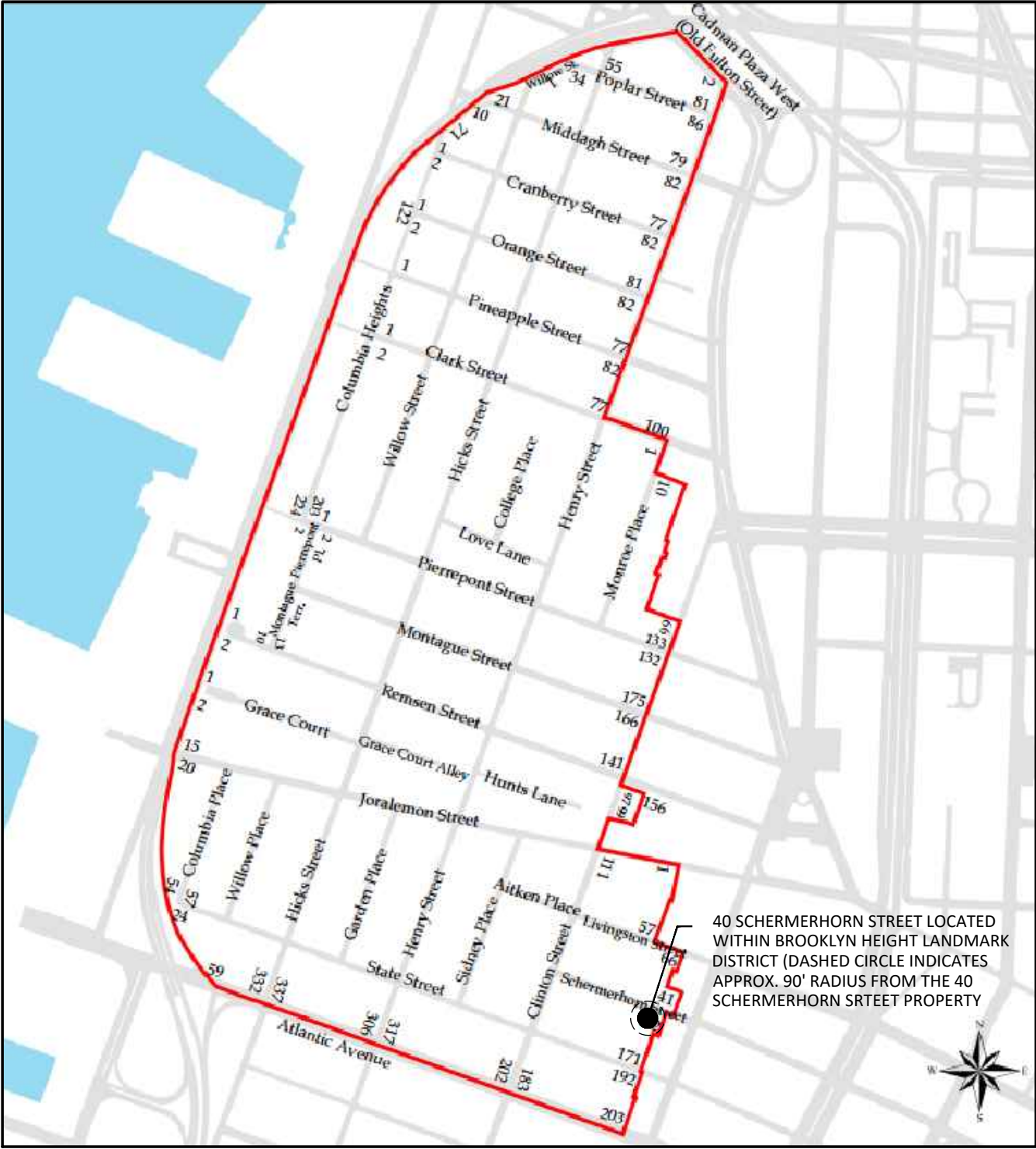


ZONING MAP



SCALE: N.T.S.

BROOKLYN HEIGHT LANDMARD DISTRICT MAP

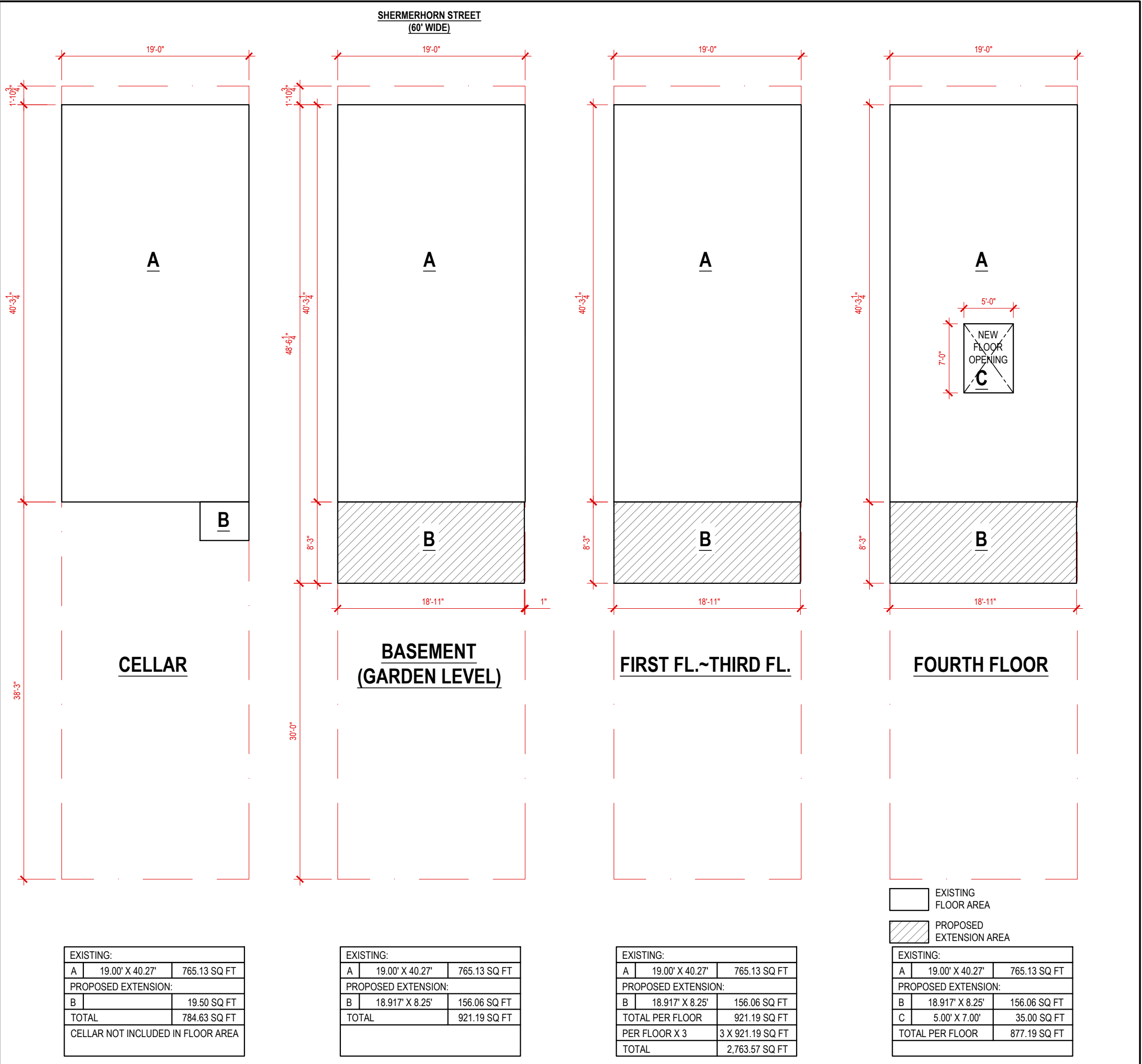


TPPN 10/88 NOTES

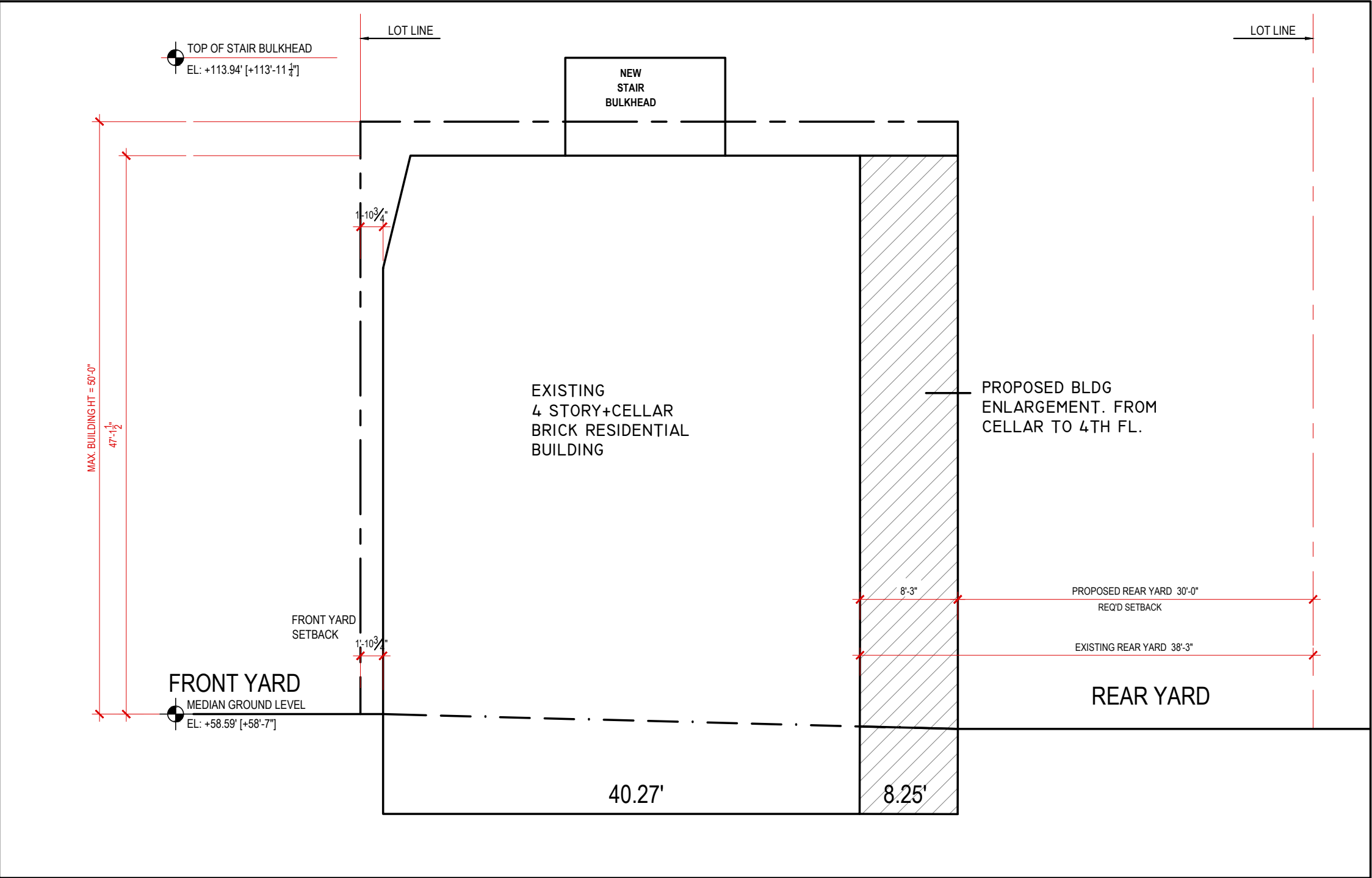
- THIS PROPERTY IS WITHIN THE BROOKLYN (COBBLE HILL) LANDMARKS HISTORIC DISTRICT. ALL BUILDING WITHIN 90' RADIUS OF THIS PROPERTY ARE ALSO WITHIN THE BOUNDARIES OF THIS HISTORIC DISTRICT.
- GC SHALL COMPLY WITH TPPN 10/88 TO AVOID DAMAGE TO HISTORIC LANDMARKS STRUCTURES WITH A 90' RADIUS TO THE CONSTRUCTION SITE

CRITERIA:
8.1.1. SETTLEMENTS OF THE STREET AND OF SELECTED POINTS ON THE GROUND ARE TO BE MONITORED.
8.2.1. PHOTOGRAPHS OF SUFFICIENT CLARITY TO VIEW THE "TELLTALES" SHALL BE TAKEN WEEKLY DURING CONSTRUCTION.
8.2.2. PHOTOGRAPHS SHALL BE IDENTIFIED ON THE BACK WITH THE BUILDING ADDRESS, DIRECTION, DATA, TIME, AND PHOTOGRAPHER.
8.5.1. PHOTOGRAPHS OF SUFFICIENT CLARITY TO VIEW THE "TELLTALES" SHALL BE TAKEN WEEKLY DURING CONSTRUCTION.
8.5.2. PHOTOGRAPHS SHALL BE IDENTIFIED ON THE BACK WITH THE BUILDING ADDRESS, DIRECTION, DATA, TIME, AND PHOTOGRAPHER.
9.0. CONTROLLED INSPECTION REPORT
9.1. RECORDS OF THE MONITORING PROGRAM SHALL BE RETAINED
9.2. CONTROLLED INSPECTION REPORTS AS TO THE MONITORING PROGRAM SHALL BE SUBMITTED TO THE DEPARTMENT WITHIN 30 DAYS OF COMPLETION OF THE EXCAVATION.
9.2.1. THE REPORT SHALL INCLUDE A SET OF PHOTOGRAPHS TAKEN PURSUANT TO ITEM 8.5.

FLOOR AREA CALCULATIONS



BUILDING HEIGHT & SETBACK LIMITATION DIAGRAM



BUILDING CODE REFERENCES

ALL WORK SHALL CONFORM TO ALL APPLICABLE GOVERNING CODES INCLUDING BUT NOT LIMITED TO THE FOLLOWINGS.
NEW YORK CITY BUILDING CODE, 1938 (OLD CODE)
NEW YORK CITY MECHANICAL CODE, 2014
NEW YORK CITY ELECTRICAL CODE, 2011
NEW YORK CITY PLUMBING CODE, 2014
NEW YORK CITY FIRE CODE, 2014

ZONING ANALYSIS

LOCATION:		40 SCHERMERHORN STREET, BROOKLYN, NEW YORK						
ZONING DISTRIC :		R6 / C6-2A (LH-1; LIMITED HEIGHT DISTRICT)						
BLOCK / LOT :		270 / 46						
MAP # :		16C						
LOT AREA :		1527.92 SQ. FT. (19.00FT X 80.42FT),						
OCCUPANCY GROUP :		RESIDENTIAL -2 FAMILY DWELLING (OLD CODE)						
CONST. CLASSIFICATION :		CLASS 3 NON-FIREPROOF (OLD CODE)						
		ZR SECTION	MAX. PERMITTED	MIN. REQUIRED	EXISTING	PROPOSED	COMPLIANCE	REMARK
USE	USE GROUP (UG)	22-10	UG 1,2,3,4		UG 2	UG 2	OK	EXISTING 2 FAMILY D.U.
LOT	LOT WIDTH	23-32	-	18'-0"	19'-0"	-	OK	
	MIN. LOT AREA	23-32	-	1,700 SF	1,527.92 SF	-	OK	EXISTING LOT
LOT COVERAGE	LOT COVERAGE RATIO	23-153	*63% (adjusted)	-	50.08%	60.07%	OK	COMPLY
			962.58 SF	-	765.13 SF	921.19	OK	COMPLY
FLOOR AREA RATIO	F.A.R	12-153 FOR R6	2.2		1.31	1.35	OK	
		34-112; 23-153 FOR C6-2A(R8A EQUIV.)	6.02		2.05	2.99	OK	
		ADJUSTED(77-22)	3.35 (5,118.52 SF)		3,825.65 SF	4,570.97 SF	OK	
BUILDING LIMITATIONS	MIN. BASE HT.(R6)	23-662; 23-691; FOR LH-1 34-24(f)	-	30 FT	47.32 FT	-	OK	EXISTING HT., NO CHANGE
	MIN. BASE HT.(R8A)		-	50 FT (LH-1)	47.32 FT	-	OK	EXISTING HT., NO CHANGE
	MAX.BASE HT.(R6)		45 FT	-	47.32 FT	-	OK	EXISTING HT., NO CHANGE
	MAX.BASE HT.(R8A)		50 FT (LH-1)	-	47.32 FT	-	OK	EXISTING HT., NO CHANGE
	MAX.BLDG.HT.(R6)		50 FT (LH-1)	-	47.32 FT	-	OK	EXISTING HT., NO CHANGE
	MAX.BLDG.HT.(R8A)		50 FT (LH-1)	-	47.32 FT	-	OK	EXISTING HT., NO CHANGE
YARD REQ'S	FRONT YARD	23-45;23-641;34-231	-	0 FT	1.89 FT	1.89 FT	OK	NO CHANGE
	SIDE YARDS	23-462c;23-632;34-232	-	0 OR 8FT	0 FT	0 FT	OK	NO CHANGE
	REAR YARD	23-47	-	30'-0"	30'-3"	30'-0"	OK	NO CHANGE
DENSITY	DWELLING UNITS	23-22, 35-40	FACTOR (680 SF)	6.70	4	2	OK	2429/1350(=FACTOR)=2
	DWELLING UNIT SIZE	23-23	680 SF	325 SF	765.13 SF, DW1 1,530.26 SF, DW2 765.13 SF, DW3 765.13 SF, DW4	921 SF, DW1 3,650 SF, DW2	OK	
PARKING / BIKE REQ'S.	PARKING, PARKING REQ. WAIVER BICYCLES	25-241, 25-26	N.A.	50%(R6), 20%(R8A)	0	0	OK	WAIVED PER 25-26
		25-811		1 (1 PER 2 DU)	0	0	OK	WAIVED LESS THAN 10 DU
TREE PLANTING REQ'S	STREET TREE PLANTING	23-03(b)	FLOOR ENLARGEMENT 20% MORE @ SPECIAL DOWNTOWN BROOKLYN DIST.				OK	EXISTING, NO CHANGE
		26-41	-	1 (1 PER 25 FT)	1	1	OK	NO CHANGE
	PLANTING STRIP	23-04	-				OK	

FLOOR AREA CALCULATION

	EXISTING	PROPOSED ENLARGEMENT	TOTAL	REMARK
CELLAR	784.63 SF	0.00 SF	784.63 SF	NOT COUNTED IN FLOOR AREA CALC.
BASEMENT	765.13 SF	156.06 SF	921.19 SF	
1ST FLOOR	765.13 SF	156.06 SF	921.19 SF	
2ND FLOOR	765.13 SF	156.06 SF	921.19 SF	
3RD FLOOR	765.13 SF	156.06 SF	921.19 SF	
4TH FLOOR	765.13 SF	121.06 SF	886.19 SF	
TOTAL	3,825.65 SF	745.32 SF	4,570.97 SF	

MINIMUM DWELLING SIZE REQUIREMENT:

- UNIT1: CELLAR, BASEMENT: 917.76 SQ. FT. > 325 SQ. FT. PER ZR23-23 -COMPLY
UNIT2: 1ST, 2ND, 3RD, 4TH FLOOR 3,636.04 SQ. FT. > 325 SQ. FT. -COMPLY

NYC ENERGY CONSERVATION CODE COMPLIANCE NOTES:

- THIS IS A HISTORIC BUILDING EXEMPT FROM NYCECC COMPLIANCE REQUIREMENTS AS PER NYCECC §101.4.2.
- 40 SCHERMERHORN STREET IS A CONTRIBUTING BUILDING TO THE BROOKLYN HEIGHTS HISTORIC DISTRICT, WHICH IS ON THE NATIONAL REGISTER OF HISTORIC PLACES. (NRIS #66000524).

SPECIAL / PROGRESS INSPECTION NOTES
INSPECTION ITEMS

- SPECIAL INSPECTIONS SHALL BE CONDUCTED BY QUALIFIED AGENCIES WHO WERE APPROVED AND CERTIFIED BY NYC DOB AND HIRED BY THE OWNER.
- SPECIAL INSPECTOR SHALL KEEP INSPECTION RECORDS FOR 6 YEARS AND SHALL MAKE THE RECORDS AVAILABLE TO THE DOB UPON REQUEST (BC 28-115.3)
- THE CONTRACTOR MUST NOTIFY THE ARCHITECT/ENGINEER OR SPECIAL INSPECTION AGENCY TO COORDINATE THE INSPECTION SCHEDULE PRIOR TO COMMENCEMENT OF THE SPECIFIC WORK.
- SPECIAL INSPECTIONS IS REQUIRED IN ACCORDANCE WITH CHAPTER 17 AND THE APPLICABLE SECTIONS OF THE NYC CONSTRUCTION CODE ARE LISTED IN THE FOLLOWING TABLES:

SPECIAL INSPECTION ITEMS(TR1):

STRUCTURAL STEEL-WELDING	BC 1704.3.1
STRUCTURAL STEEL-DETAILS	BC 1704.3.2
STRUCTURAL HIGH STRENGTH BOLTING	BC 1704.3.3
CONCRETE-CAST-IN -PLACE	BC 1704.2.7
MASONRY	BC 1704.5
SUBGRADE INSPECTION	BC 1704.7.1
SUBSURFACE INVESTIGATIONS	BC 1704.7.4
MECHANICAL SYSTEM	BC 1704.16
HEATING SYSTEM	BC 1704.25
FIRE-RESISTANT PENETRATIONS AND JOINTS	BC 1704.27
STRUCTURAL STABILITY-EXISTING BUILDINGS	BC 1704.20.1

PROGRESS INSPECTION ITEMS:

FOOTING AND FOUNDATION:	BC 110.3.1
FIRE RESISTANCE RATED CONSTRUCTION	BC 110.3.4

FOR ADDITIONAL INFORMATION REFER TO SHEETS

LANDMARKS PRESERVATION COMMISSION
ELECTRONIC APPROVAL 05/01/2023 - LP

PROJECT :

40 SCHERMERHORN STREET
RESIDENTIAL
Brooklyn, NY 11201

PROPERTY OWNER :

Ju Young Oh & Michael Kang
40 Schermerhorn Street
Brooklyn, NY 11201
T. 646.915.2399
Contact :
Michael Kang, owner, mskpublic@yahoo.com
Juyoung Oh, owner, juyoungoh@gmail.com

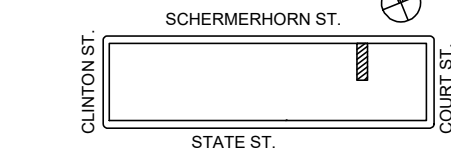
ARCHITECT :

KLC ARCHITECTS, PC
180 Maiden Lane, Suite#8A
New York, NY 10038
T. 212.947.0880,
Contact: Jay Cho, RA jc@klcapc.com

STRUCTURAL ENGINEER :

LB ENGINEERING, PC
325 West 38th Street, Suite 704
New York, NY 10018
T. 201.983.3344
Contact: James Gwangjin Oh, PE
james.benatg@gmail.com

KEY PLAN :



4 4/15/22 LPC FILING REV1

3 2/5/22 LPC FILING

2 2/2/22 OWNER REVIEW

1 12/15/21 OWNER REVIEW

NO. DATE: ISSUE:

DOB STAMP

DOB B-SCAN JOB # STICKER
DOB NOW #B00679292

SEAL & SIGNATURE :



SHEET TITLE :

ZONING ANALYSIS,
CODE COMPLIANCE

SCALE :

DATE :

PROJECT No : 210103

DRAWING BY : DK

CHK BY : JC

SHEET NUMBER :

Z.100.00

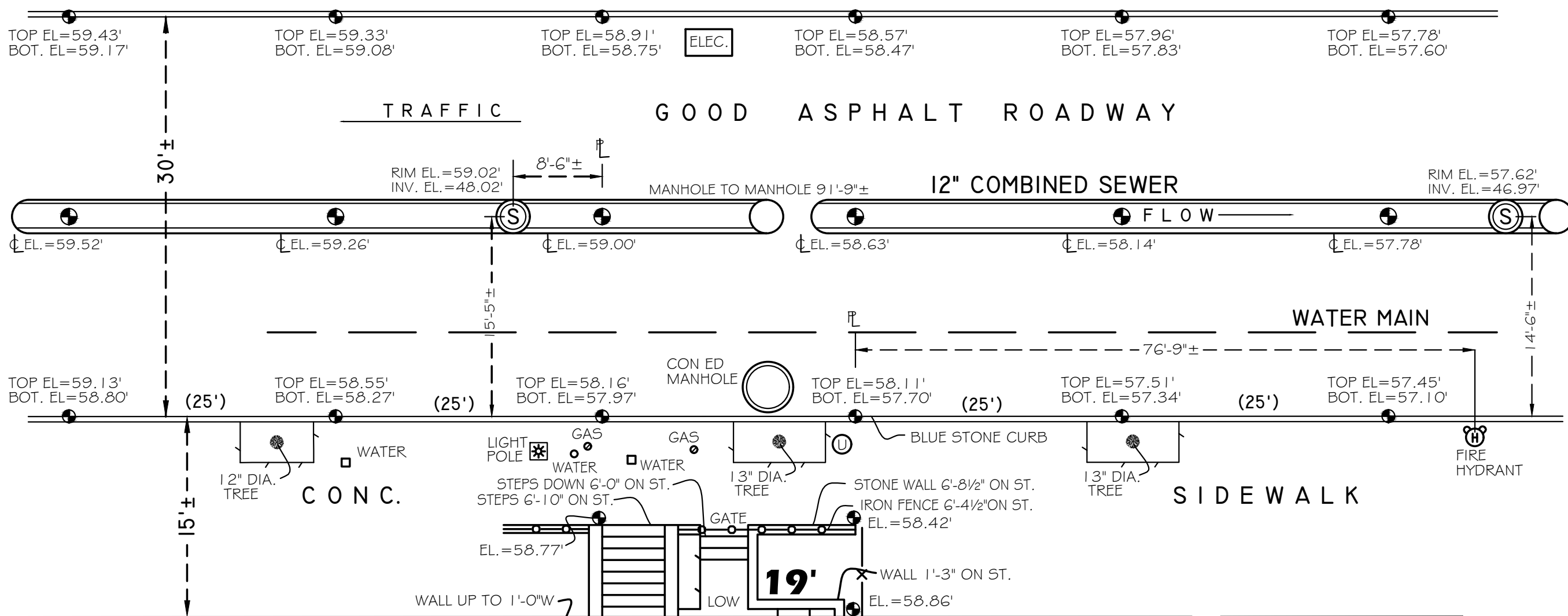
CAD FILE No :

KLC\210101\DRAWINGS\

PAGE No :

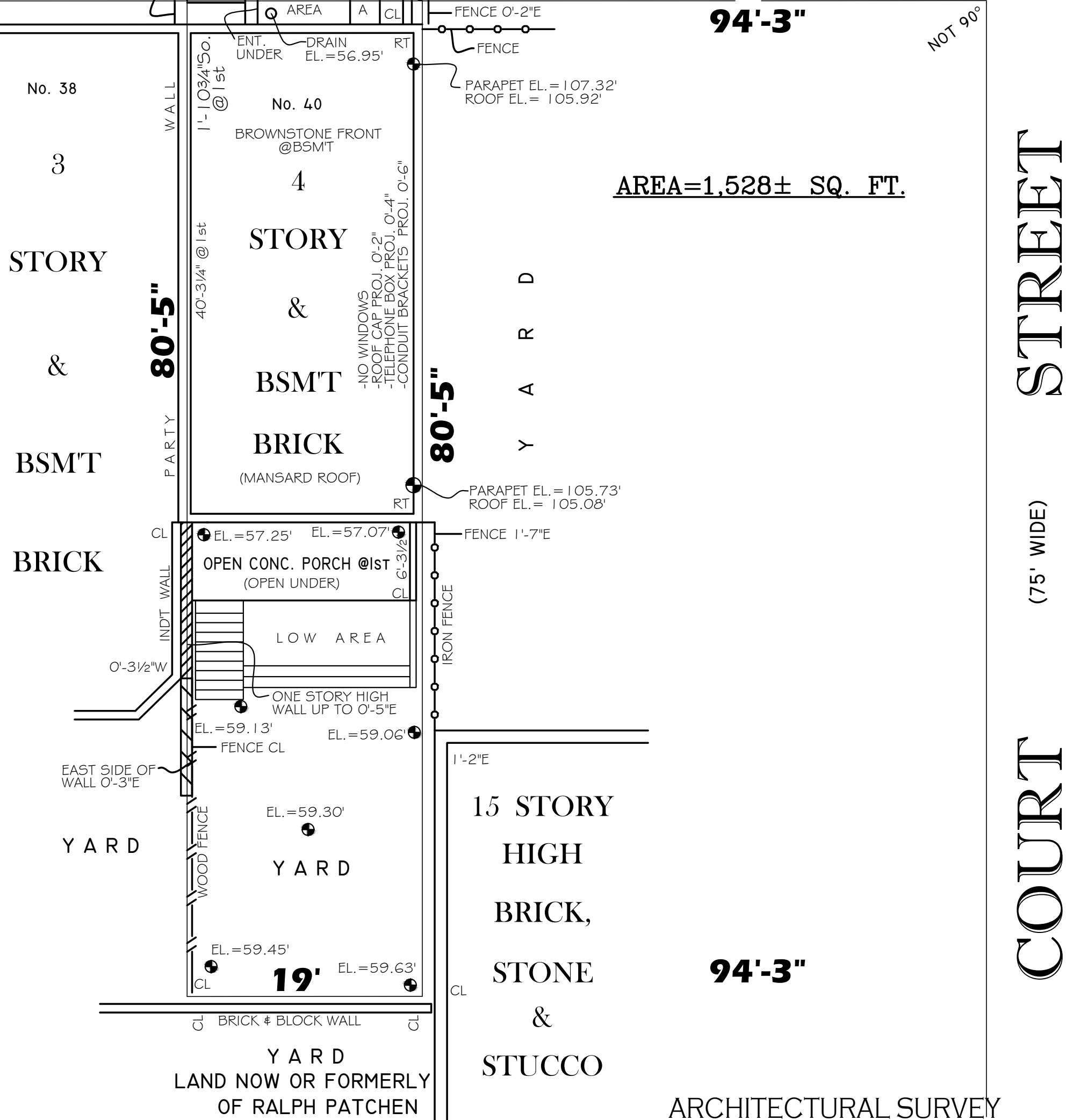
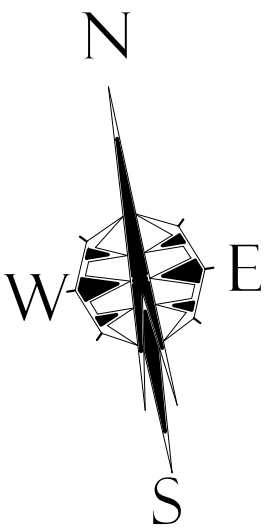
2 of 14

SCHERMERHORN (60' WIDE) STREET



FLOOR ELEVATIONS FOR
No. 40 SCHERMERHORN ST.
4th. FL. EL.=96.54'
3rd. FL. EL.=86.63'
2nd. FL. EL.=77.43'
1st. FL. EL.=65.83'
BSMT EL.=57.55'
CELLAR EL.=50.08'

NOTE: TO PROVIDE CLARITY, CERTAIN DIMENSIONS,
FEATURES AND/OR LOCATIONS ARE NOT DRAWN TO SCALE.
-NOT TO BE USED FOR STAKEOUT OF STRUCTURES



SURVEYED
SEPTEMBER 24, 2021

ARCHITECTURAL SURVEY

CAUTION: BEFORE PERFORMING ANY DIGGING OR DRILLING
ON THIS SITE, IT IS REQUIRED THAT SUBSURFACE SERVICES,
INCLUDING THE UNDERGROUND MAINS BE MARKED AND IDENTIFIED
BY THE UTILITY INVOLVED IN COMPLIANCE WITH INDUSTRIAL
CODE 53 OF NEW YORK STATE.

- 1) ALL ELEVATIONS REFER TO NAVD88
- 2) UNDERGROUND UTILITY INFORMATION SHOWN WAS OBTAINED FROM VARIOUS COMPANIES AND CITY AGENCIES AND IS NOT GUARANTEED FOR ACCURACY OR COMPLETENESS. CONSULT CONSOLIDATED EDISON COMPANY AND BROOKLYN UNION FOR DETAILED INFORMATION ON THEIR RESPECTIVE SERVICES.
- 3) THIS IS TO CERTIFY THAT THERE ARE NO APPARENT STREAMS NOR NATURAL WATER COURSES IN THE PROPERTY AS SHOWN ON THIS SURVEY.

ANTHONY F. MUSCAT L.S.

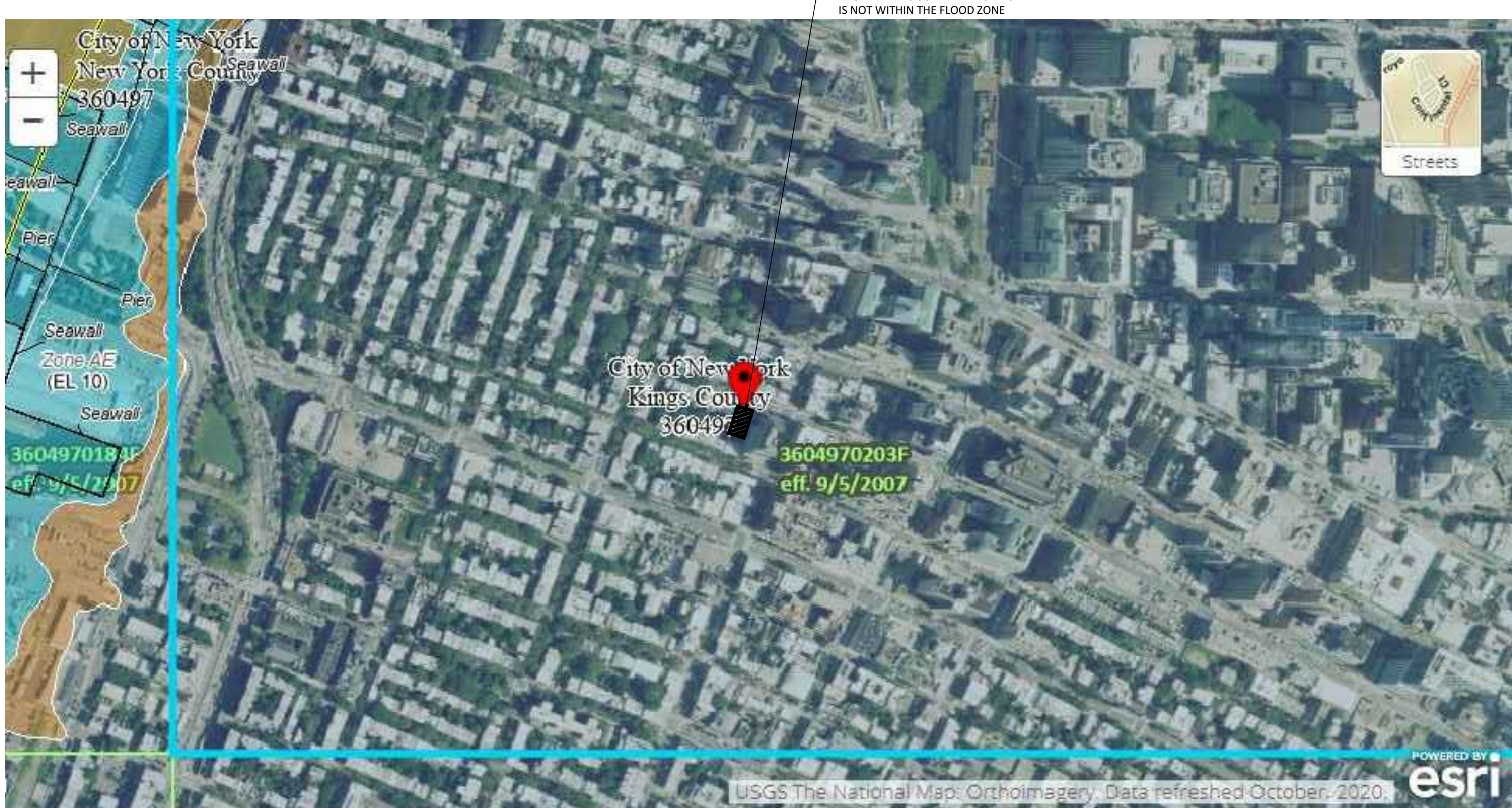
STATEMENT FOR THE COMPLIANCE WITH SPECIAL FLOOD HAZARD
AREA REQUIREMENTS MANDATED WITHIN SPECIAL FLOOD
HAZARD AREAS: (28-104.9.2, NYC LOCAL LAW 21/09):

1. LOCAL LAW 21/09: THIS PROPERTY IS NOT LOCATED WITHIN COSTAL ZONES AND WATER-SENSITIVE INLAND ZONES THAT MAY BE AFFECTED BY THE FOLLOWING

TIDAL WETLANDS MAP CHECK:	NO
FRESHWATER WETLANDS MAP CHECK:	NO
COASTAL EROSION HAZARD AREA MAP CHECK:	NO
SPECIAL FLOOD HAZARD AREA CHECK:	NO

THIS PROJECT IS NOT FOR FLOOD DAMAGE RECOVERY OR IMPROVEMENT, DO NOT REQUIRE FEMA DESIGN COMPLIANCE, NOR FEMA LOAD CALCULATION.

FEMA FLOOR MAP



LANDMARKS PRESERVATION COMMISSION
ELECTRONIC APPROVAL 05/01/2023 - LP

PROJECT :

40 SCHERMERHORN STREET
RESIDENCE
Brooklyn, NY 11201

PROPERTY OWNER :

Ju Young Oh & Michael Kang
40 Schermerhorn Street
Brooklyn, NY 11201
T. 646.915.2399
Contact :
Michael Kang, owner, mskpublic@yahoo.com
Juyoung Oh, owner, juyoungoh@gmail.com

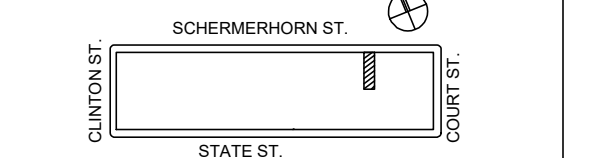
ARCHITECT :

KLC ARCHITECTS, PC
180 Maiden Lane, Suite#8A
New York, NY 10038
T. 212.947.0880,
Contact: Jay Cho, RA jc@klcapc.com

STRUCTURAL ENGINEER :

LB ENGINEERING, PC
325 West 38th Street, Suite 704
New York, NY 10018
T. 201.983.3344
Contact: James Gwangjin Oh, PE
james.benatg@gmail.com

KEY PLAN :



4	4/15/22	LPC FILING REV1
3	2/5/22	LPC FILING
2	2/22/22	OWNER REVIEW
1	12/15/21	OWNER REVIEW
NO.	DATE	ISSUE
DOB	STAMP	

DOB B-SCAN JOB # STICKER
DOB NOW #B00679292

SEAL & SIGNATURE :



SHEET TITLE :

CODE COMPLIANCE
FEMA, LAND SURVEY

SCALE :

DATE :

PROJECT No : 210103

DRAWING BY : DK

CHK BY : JC

SHEET NUMBER :

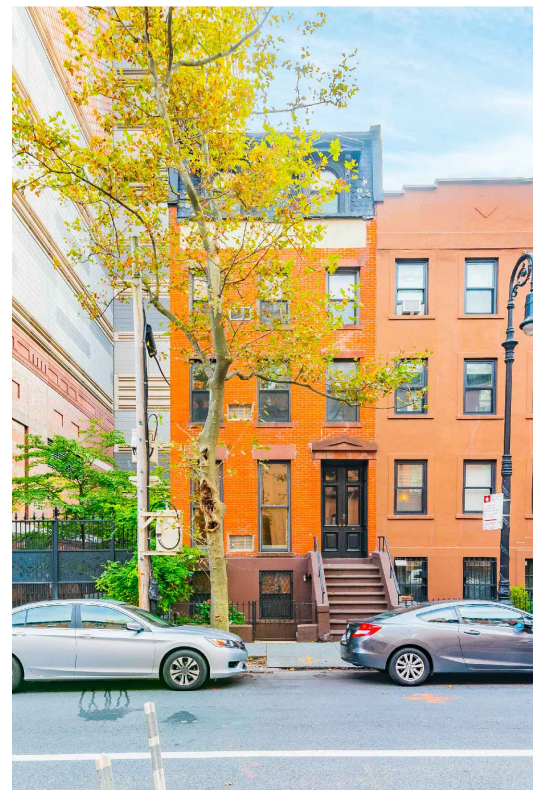
Z-102.00

CAD FILE No : KLC/210101/DRAWINGS/ PAGE No : 3 of 14

LANDMARKS PRESERVATION COMMISSION
ELECTRONIC APPROVAL 05/01/2023 - LP

BORO LAND SURVEYING, P.C.

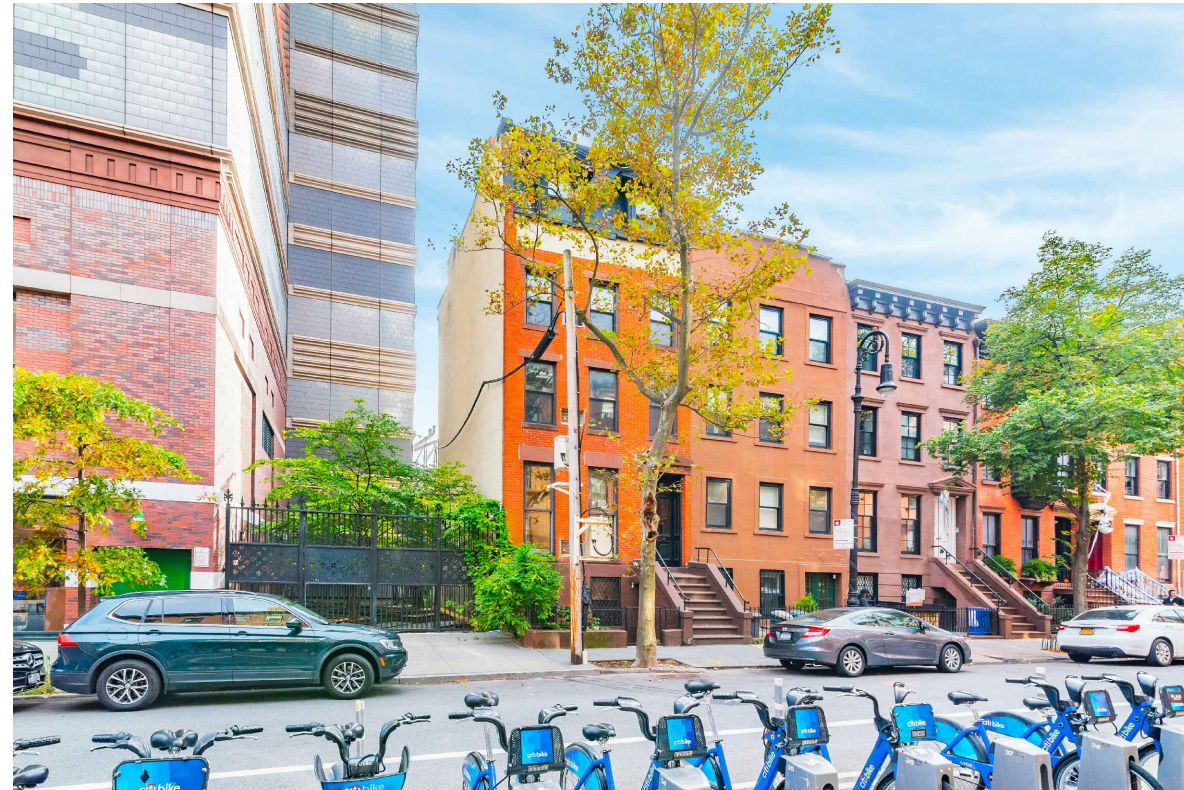
353 COURT STREET
BROOKLYN, N.Y. 11231
TEL. (718) 624-BORO (2676)
EMAIL: BOROSURVEY@GMAIL.COM



PHOTO#1



PHOTO#2



PHOTO#3



PHOTO#4



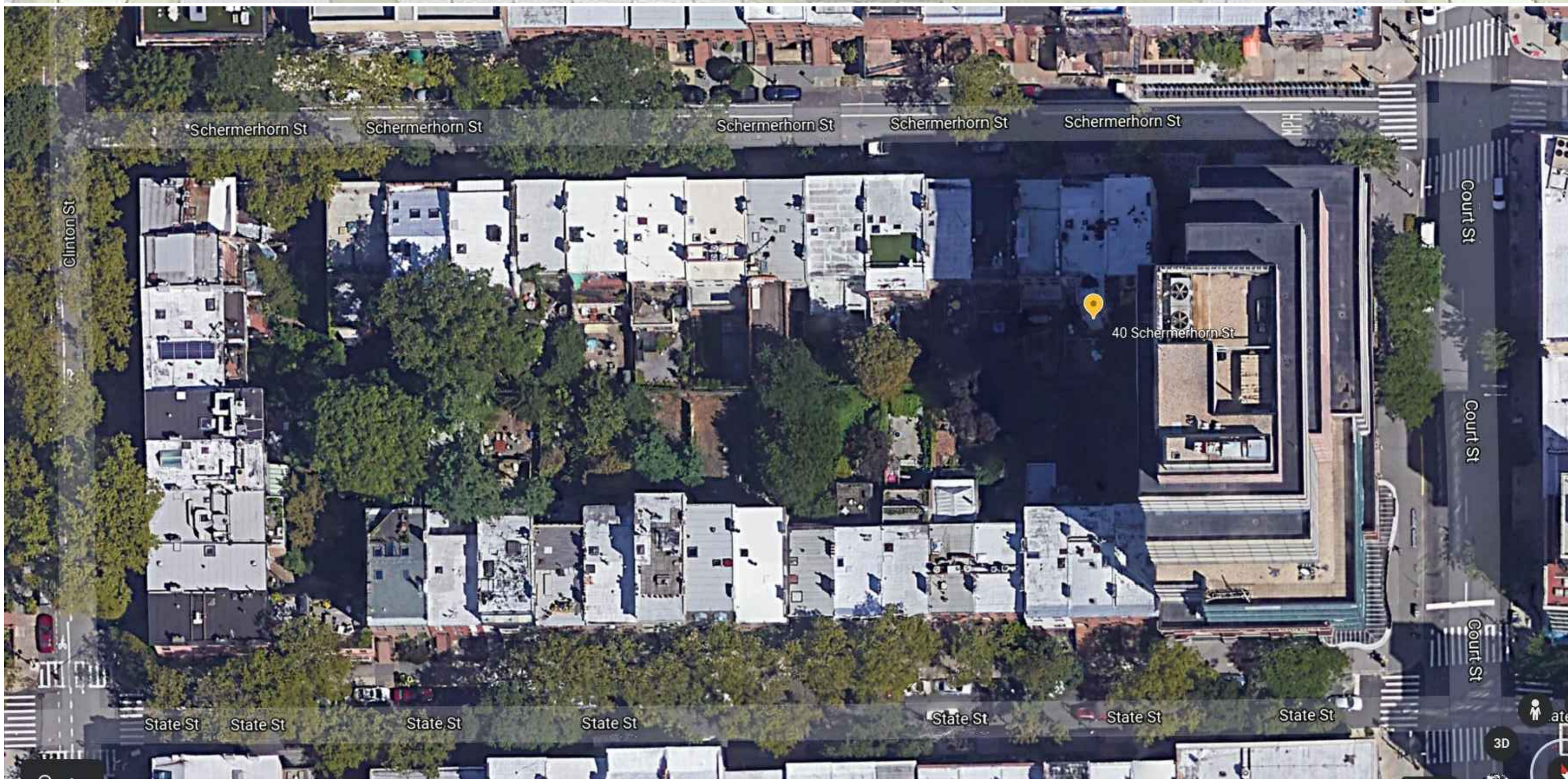
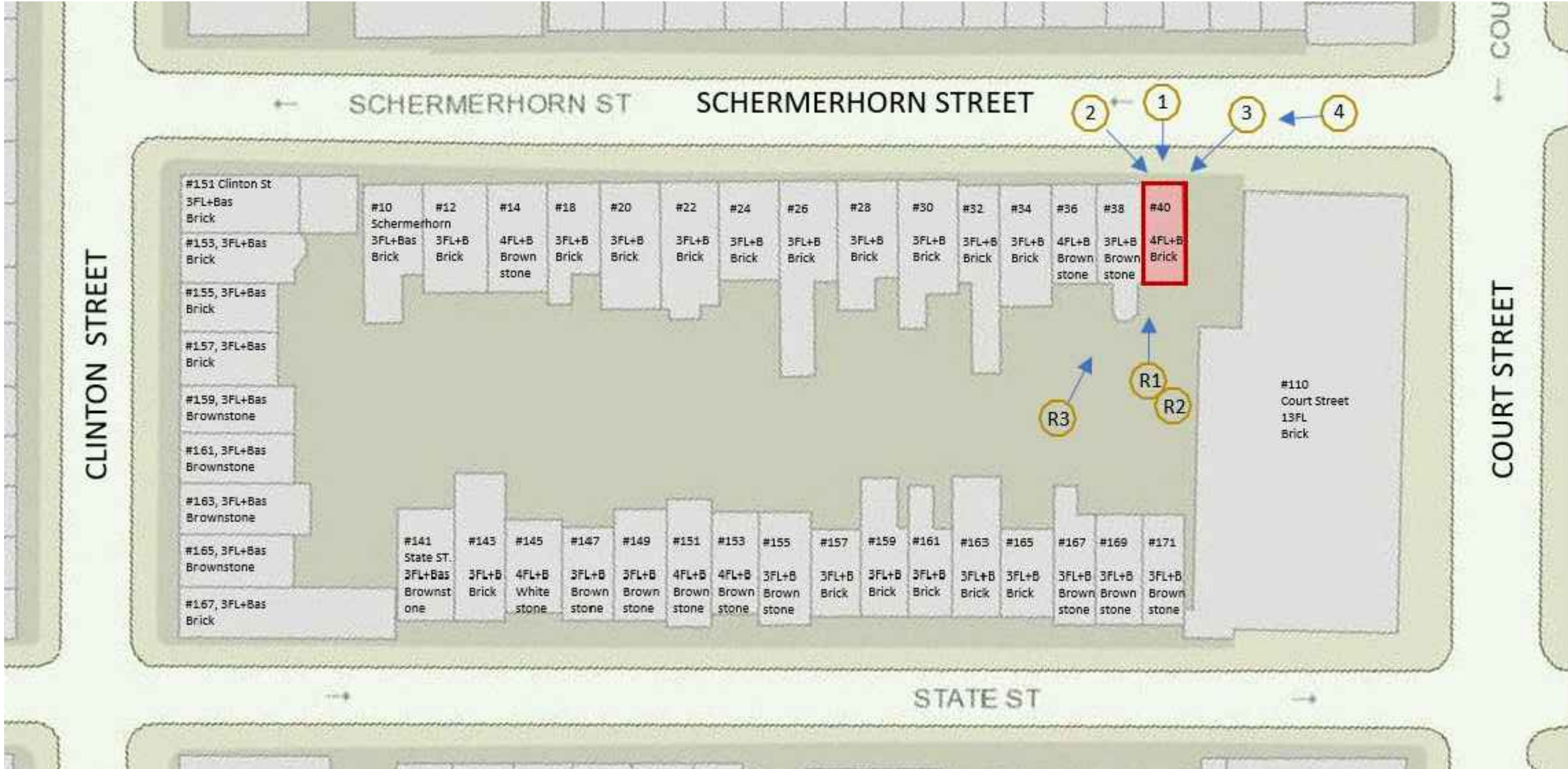
PHOTO#R2



PHOTO#R1



PHOTO#R3

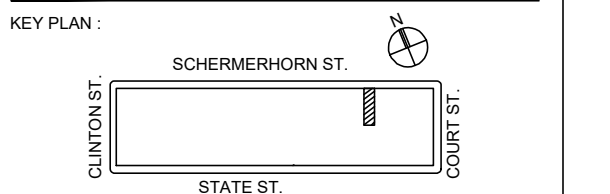


PROJECT :
40 SCHERMERHORN STREET RESIDENCE
40 Schermerhorn Street
Brooklyn, NY 11201

PROPERTY OWNER :
Ju Young Oh & Michael Kang
40 Schermerhorn Street
Brooklyn, NY 11201
T. 646.915.2399
Contact :
Michael Kang, owner, mskpublic@yahoo.com
Juyoung Oh, owner, juyoungoh@gmail.com

ARCHITECT :
KLC ARCHITECTS, PC
180 Maiden Lane, Suite#8A
New York, NY 10038
T. 212.947.0880,
Contact: Jay Cho, RA jc@klcapc.com

STRUCTURAL ENGINEER :
LB ENGINEERING, PC
325 West 38th Street, Suite 704
New York, NY 10018
T. 201.983.3344
Contact: James Gwangjin Oh, PE
james.benatg@gmail.com



4	4/15/22	LPC FILING REV1
3	2/5/22	LPC FILING
2	2/22/22	OWNER REVIEW
1	12/15/21	OWNER REVIEW
NO.	DATE	ISSUE
DOB STAMP		

DOB B-SCAN JOB # STICKER
DOB NOW #B00679292



SHEET TITLE
BROOKLYN HEIGHT HISTORIC DISTRICT MAP & STREET VIEW

SCALE :
DATE :
PROJECT No : 210103
DRAWING BY : DK
CHK BY : JC
SHEET NUMBER :

LPC.100.00

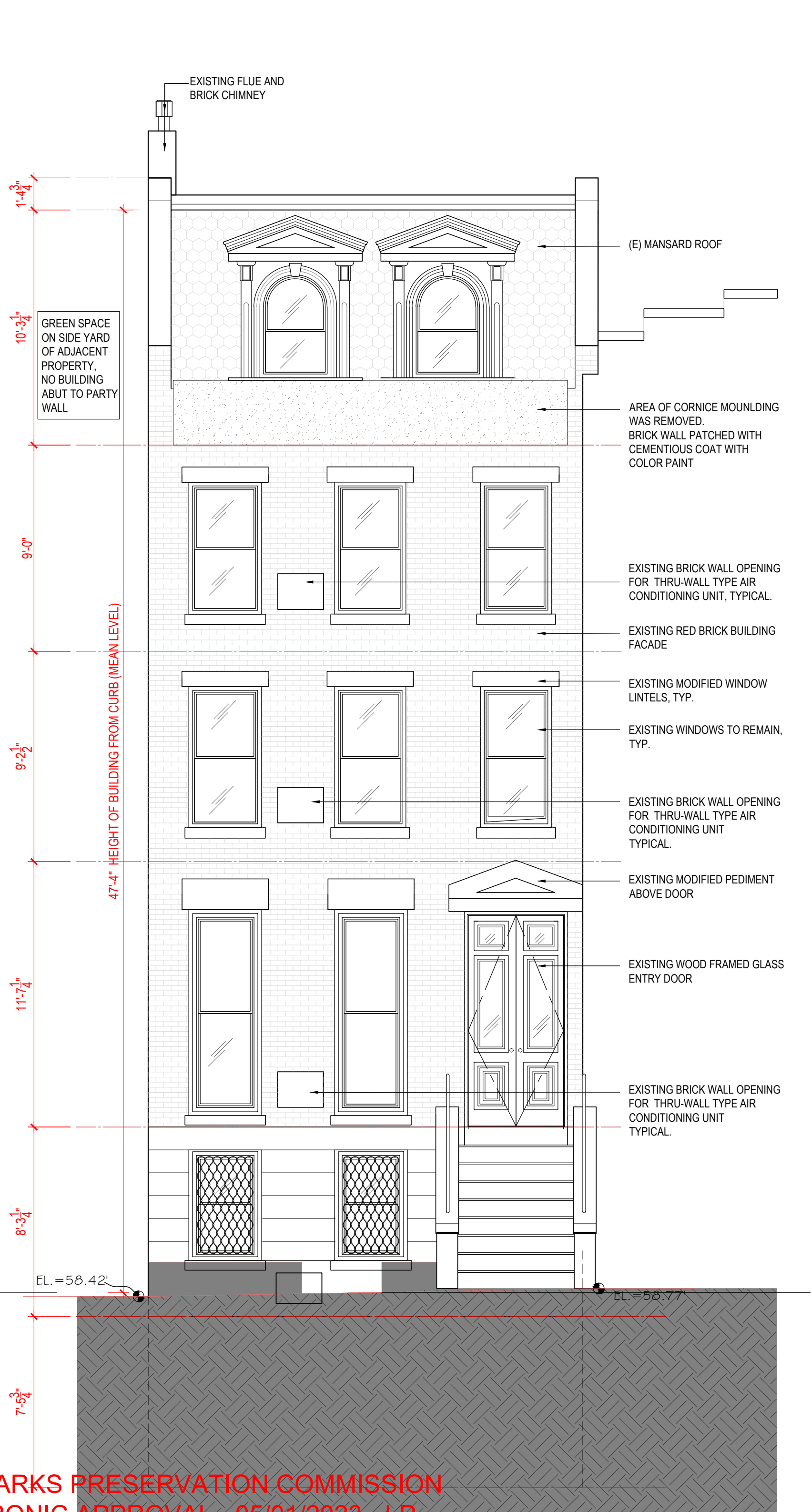
CAD FILE No :
KLC/210101/DRAWINGS/

PAGE No :
4

of 14

ELEVATION NOTES

- ELEVATIONS AND LEGAL GRADES REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88) WHICH IS 1.44 FEET ABOVE BROOKLYN HEIGHT BOROUGH DATUM.
- PROPERTY SURVEY WAS PERFORMED BY ANTHONY F. MUSCAT, A LICENSED LAND SURVEYOR OF BORO LAND SURVEYING PC. REFER TO Z-101 FOR REPRODUCTION OF THE ORIGINAL SURVEY.
- ALL BUILDING STREET WALL, BASE PLANE, FLOOR AND CEILING ELEVATIONS ARE EXISTING AS SURVEYED.
- THIS PROPERTY IS NOT IN A FLOOD PLAIN.
- DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN. ALL INDICATED DIMENSIONS SHALL BE FIELD VERIFIED. NOTIFY ANY AND/OR ALL DISCREPANCIES TO ARCHITECT PRIOR TO WORK COMMENCEMENT.
- FLOOR LEVELS SHOWN ON ELEVATION ARE BASED ON FINISHED FLOOR. REQUIRE FIELD VERIFICATION.
- FOR ALL NEW WINDOWS & DOORS, SEE WINDOW & DOOR SCHEDULES & NOTES ON A-501.
- INSTALL NEW DECK & RAILING AT REAR YARD AT THE FIRST FLOOR LEVEL PER DETAILS.
- PROVIDE NEW STUCCO LINTELS AND SILLS FOR NEW DOOR & WINDOW OPENING AS PER DOOR & WINDOW SCHEDULE.
- NEW RAILINGS ON ROOF, RAILING AT REAR BALCONY, REAR STAIR AND INTERIOR RAILING AT STAIRWAY & CORRIDOR SHALL BE DESIGNED TO RESIST THE SIMULTANEOUS APPLICATION OF A LATERAL FORCE OF 20 PLF PLUS A VERTICAL LOAD OF 20 PLF, BOTH APPLIED AT THE TOP OF THE RAILING. THE TOTAL LATERAL FORCE AND TOTAL VERTICAL LOAD SHALL BE AT LEAST 200 POUNDS EACH TO COMPLY WITH BC 27-558.

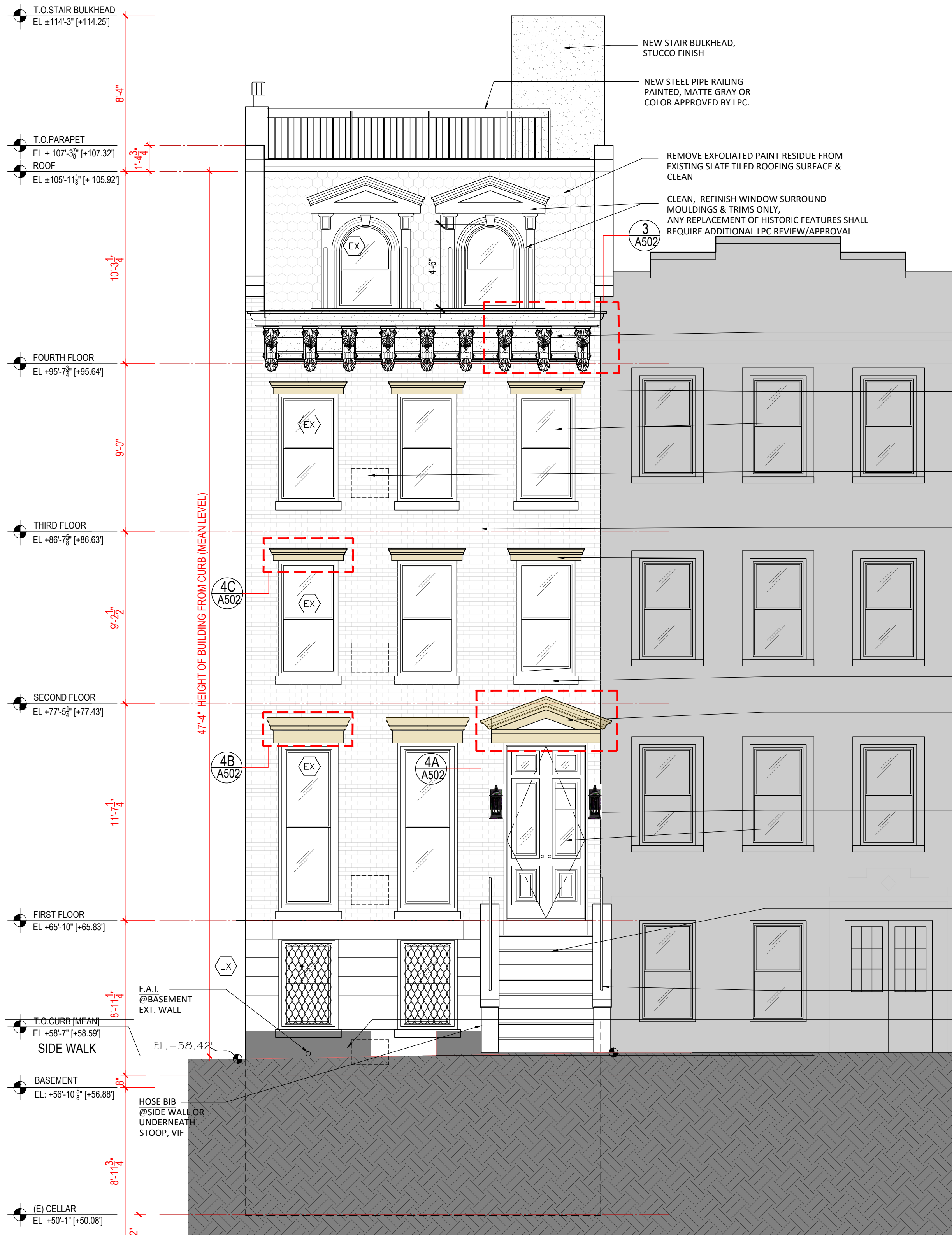


LANDMARKS PRESERVATION COMMISSION
ELECTRONIC APPROVAL - 05/01/2023 - LP

1

BUILDING FRONT ELEVATION- EXISTING

SCALE: 1/4"= 1'-0"



2

BUILDING FRONT ELEVATION-PROPOSED

SCALE: 1/4"= 1'-0"

EXHIBIT-1: ORIGINAL CORNICE
@1940 TAX PHOTO

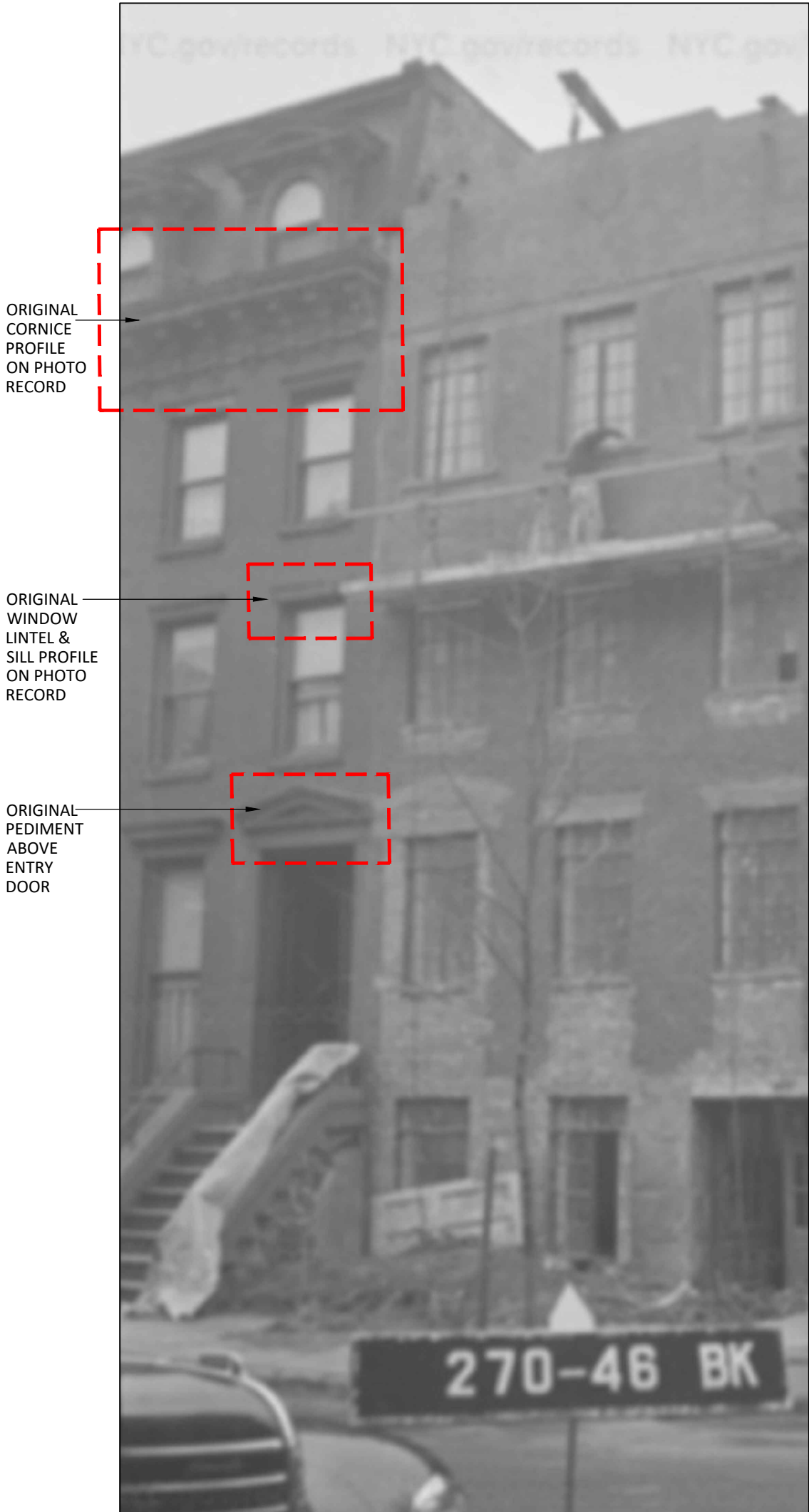


EXHIBIT-2:
PROPOSED WALLSCONE
@FRONT

STONEHOUSE OUTDOOR ENTRANCE WALL
SCONE-SINGLE LIGHT
SMOOTH BRONZE COLOR ALUM. FINISH.
8-3/8"W X 13-3/8" H
E26 BASE LED



PROJECT :

**40 SCHERMERHORN STREET
RESIDENCE**
40 Schermerhorn Street
Brooklyn, NY 11201

PROPERTY OWNER :

Ju Young Oh & Michael Kang
40 Schermerhorn Street
Brooklyn, NY 11201
T. 646.915.2399
Contact :
Michael Kang, owner, mskpublic@yahoo.com
Juyoung Oh, owner, juyoungoh@gmail.com

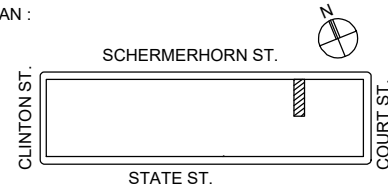
ARCHITECT :

KLC ARCHITECTS, PC
180 Maiden Lane, Suite#8A
New York, NY 10038
T. 212.947.0880,
Contact: Jay Cho, RA jc@klcapc.com

STRUCTURAL ENGINEER :

LB ENGINEERING, PC
325 West 38th Street, Suite 704
New York, NY 10018
T. 201.983.3344
Contact: James Gwangjin Oh, PE
james.benatg@gmail.com

KEY PLAN :



6	4/13/23	REV. PER LPC	COMMENTS
5	7/15/22	DOB FILING	
4	4/15/22	LPC FILING REV1	
3	2/5/22	LPC FILING	
2	2/22/22	OWNER REVIEW	
1	12/15/21	OWNER REVIEW	
NO.	DATE	ISSUE	
DOB STAMP			

DOB B-SCAN JOB # STICKER
DOB NOW #B00679292-11

SEAL & SIGNATURE :



SHEET TITLE
**BUILDING FRONT ELEVATION
& DETAILS**

SCALE :

DATE :

PROJECT No : 210103

DRAWING BY : DK

CHK BY : JC

SHEET NUMBER :

A.500.01

CAD FILE No :

KLCA210101DRAWINGS

PAGE No :

1

BUILDING FACADE REPAIR NOTES

1. NEW CORNICE AT BUILDING FRONT FACADE

1.1. PROVIDE NEW FIBER REINF. POLYMER (FRP) CORNICE, BLACK COLOR PAINTED DIRECTLY ABOVE 3RD FLOOR WINDOWS @ BUILDING FRONT. REFER TO THE PHOTO RECORDS SHOWING THE ORIGINAL CORNICE DESIGN. REPAIR ANY EXISTING DAMAGED / DETERIORATED WALL SURFACES WHERE NEW CORNICE MOLDINGS TO BE INSTALLED.

1.2. RESTORATION CONTRACTOR SHALL PROVIDE FULL FABRICATION **SHOP DRAWINGS FOR CORNICE** FOR LPC REVIEW/APPROVAL.

2. BROWNSTONE/ LIMESTONE REPAIR & RESURFACING

2.1 BROWNSTONE WAS FOUND ON MULTIPLE LOCATIONS ON BUILDING FRONT FACADE INCLUDING WINDOW LINTELS & SILLS, PEDIMENT ABOVE MAIN ENTRY DOORWAY, FRONT STOOP. ALL OF THE ORIGINAL BROWNSTONE LINTELS, SILLS & PEDIMENT WERE OBSERVED SEVERELY MODIFIED AND LOST THEIR ORIGINAL HISTORICAL DESIGN CHARACTER AND PLAN TO REVIVE THEIR HISTORICAL FEATURES TO MATCH CLOSELY TO THE ORIGINAL SHAPE SHOWN ON 1940 TAX PHOTO.

2.2 PROPOSED BROWNSTONE REPAIR, RESURFACE & RESTORE WORK SHALL INCLUDE REMOVAL OF PAINT RESIDUE FROM SURFACE, SURFACE WASHING TO PREPARE TO RECEIVE NEW BROWNSTONE STUCCO COATS AND SURFACE FINISHING.

2.3 SURFACE PREPARATION SHALL INCLUDE TO REMOVE ALL EXISTING LOOSE, DETERIORATED & CRACKED SURFACES DOWN TO THE SOLID SUBSTRATE MATERIAL TO PROVIDE SUFFICIENT BONDING THICKNESS. ANY STRUCTURAL CRACKS SHALL BE REPORTED TO ARCHITECT OR STRUCTURAL ENGINEER AND REPAIRED TO SECURE STABILITY PRIOR TO INSTALL BROWN STONE RESURFACING COAT.

2.4 PROVIDE SURFACE WASHING, SLURRY COAT, SCRATCH COAT & FINISH BROWNSTONE-CEMENT SURFACING COAT IN SEQUENCE TO RESTORE ITS ORIGINAL HISTORIC FEATURE SHAPES.

A. SURFACE WASH:
WASH THE PREPARED SURFACE WITH WATER AND A SOFT BRUSH.

B. SLURRY COAT:
APPLY A THIN SLURRY COAT WITH A BRUSH AND RUB VIGOROUSLY INTO THE SURFACE. THE SLURRY COAT CONSISTS OF MATERIAL IN THE FOLLOWING MIX BY VOLUME:
1 PART WHITE PORTLAND CEMENT
2 PARTS TYPE S LIME
6 PARTS SAND
MIX WITH WATER

C. SCRATCH COAT:
THE FIRST SCRATCH COAT SHOULD BE PRESSED INTO THE SLURRY COAT WHILE THE SLURRY COAT IS STILL MOIST. EACH SCRATCH SHOULD BE SCORED BEFORE INITIAL DRYING TO PROVIDE A KEY FOR FOLLOWING COATS. NO COAT SHOULD EXCEED 3/8" IN THICKNESS. ABOUT 2 HOURS SHOULD BE ALLOWED BETWEEN APPLICATIONS OF SCRATCH COATS. SCRATCH COATS CONSIST OF MATERIAL IN THE FOLLOWING MIX BY VOLUME:
1 PART WHITE PORTLAND CEMENT
1 PART TYPE S LIME
6 PARTS SAND
MIX WITH WATER

D. FINISH COAT:
THE FINISH COAT IS APPLIED ONCE THE PATCH HAS BEEN BUILT UP TO THE REQUIRED THICKNESS. ONLY THIS LAST COAT IS FORMULATED TO MATCH THE COLOR AND TEXTURE OF THE STONE BEING REPAIRED. THE FINISH COAT SHOULD BE FORMULATED AS FOLLOWS:
1 PART WHITE PORTLAND CEMENT
1 PART TYPE S LIME
2-3 PARTS SAND
3-4 PARTS CRUSHED STONE
DRY PIGMENTS
MIX WITH WATER

E. SURFACE FINISHING:
SURFACE SHOULD BE FINISHED TO MATCH THE ORIGINAL STONE TOOLING OR EXISTING CONDITION. POSSIBLE TREATMENTS INCLUDE DAMP SPONGING(STIPPLING), DRY TOWELING WITH A WOODEN FLOAT, AND ACID ETCHING WITH DILUTE HYDROFLUORIC ACID, ALL EXECUTED WHILE THE PATCH IS PARTIALLY CURED TO A LEATHER HARNESS.

2.5 REPAIR NOTES:
ALL INGREDIENTS SHOULD BE COMBINED DRY AND THEN MIXED WITH POTABLE WATER. USE DRY PIGMENTS (NATURAL OR SYNTHETIC STABLE OXIDE PIGMENTS) WHEN CRUSHED STONE IS NOT SUFFICIENT TO GIVE A COLOR MATCH, BE CAREFUL NOT TO EXCEED RECOMMENDED MAXIMUM AMOUNTS, AS TOO MUCH PIGMENT REDUCES STRENGTH AND WILL GIVE UNSTABLE COLOR.THE BEST BROWNSTONE PATCHING CONTAINS ACTUAL CRUSHED STONE. USE STONE REMOVED FROM THE AREA BEING REPAIRED OR OLD STONE WITH THE SAME QUALITIES. THE CRUSHED STONE SHOULD BE GROUND AND PASSED THROUGH A 16-MESH SCREEN, AND WASHED THOROUGHLY.

3. REPAIR, REFINISH OF EXISTING IRON RAILING AT FRONT STOOP, PICKET GATE/FENCE, IRON SECURITY WINDOWV BARS AT BASEMENT LEVEL:

3.1 CONTRACTOR SHALL INSPECT THE CONDITION OF RAILING CONNECTIONS AND MOUNTING ETC. THOROUGHLY.

3.2 SCRAPING OFF THE LOOSE/PEELED PAINT:

A. TEST A PATCH OF THE IRON RAILING FOR LEAD. IF TEST TURNS OUT POSITIVE, REMOVAL OF LEAD PAINT SHALL BE PERFORMED BY CERTIFIED PAINTING CONTRACTOR.

B. USE A FLAT METAL BLADE TO SCRAPE OFF LARGE FLAKES OF OLD PAINT.
C. RUB A WIRE BRUSH OVER THE CURVED PORTIONS OF THE RAILING AND SCRAPE BACK AND FORCE OVER THE METAL SURFACE.
D. SAND ENTIRE SURFACE TO REMOVE LINGERING PAINT.
E. USE CHEMICAL PAINT STRIPPER ON STUBBORN PAINT.

3.3 PROTECTING AND REPAINTING:

A. WIPE OFF THE RAILING WITH A TACK CLOTH OR MINERAL SPIRITS
B. APPLY METAL PRIMER, APPLY 1 OR 2 COAT(S) OF OIL BASE BLACK COLOR PAINT.

4. BRICK PATCHING

4.1 SUMMARY OF WORK:
PARTS OF THE ORIGINAL BRICKS ON BUILDING FRONT HAD BEEN REMOVED/CUT TO PROVIDE WALL SLEEVES FOR INSTALLATION OF AIR CONDITIONING UNITS. PROPOSED BRICK PATCHING WORK SHALL INCLUDE REMOVAL OF AC UNIT SLEEVES, INSTALLATION OF NEW MASONRY SUBSTRATE TO CLOSE SLEEVES INTERIOR SIDE, INSTALLATION OF NEW RED BRICK THAT WILL MATCH TO ITS ORIGINAL COLOR, SIZE & SURFACE TEXTURE.

4.2 REMOVAL & OPENING CLOSE:
REMOVE ALL DAMAGED CUT BRICKS AND EXCESSIVE MORTAR PATCHING SURROUND OF THIS AC SLEEVES, ALL NEW BRICK INFILL SHALL BE TOOTHED TO ACHIEVE ITS ORIGINAL BRICK FACADE MONOLITHIC LOOK.

4.3 MORTAR MIX & GROUT COLOR/TYPE MATCH:
INSTALL NEW SELECTED BRICKS WITHIN INFILL AREAS, USE MORTAR MIX AS PER SECTION #5.6 ~#5.10 BELOW.

4.4 CONTRACTOR SHALL RESOURCE THE MATCHING BRICK INCLUDING CUSTOM BRICK MANUFACTURER. PRESENT BRICK SAMPLE OR MOCK UP SAMPLE TO THE OWNER/ARCHITECT/LPC STAFF FOR APPROVAL PRIOR TO PURCHASE. ALL BRICK INSTALLATION SHALL COMPLY WITH MANUFACTURER'S INSTALLATION MANUAL. PERFORM NEW BRICK WORK WHEN THE TEMPERATURE AT A CONSTANT 45°F OR ABOVE FOR A 72-HOUR PERIOD FROM THE COMMENCEMENT OF THE WORK.

5. BRICK RE-POINTING

5.1 **PRE-INSPECTION:** CONTRACTOR SHALL THOROUGHLY INSPECT THE CONDITION OF EXISTING BRICK JOINTS AT FRONT FACADE AND DETERMINE THE RE-POINTING REQUIRED AREAS.

5.2 PROVE TO FIND THE ORIGINAL MORTAR COLOR, TEXTURE AND HARDNESS TO MATCH IF POSSIBLE.

5.3 REMOVE ALL CRACKED, DETERIORATED AND/OR INAPPROPRIATELY APPLIED MORTAR FROM THE BRICK JOINTS BY HAND USING A CHISEL. NOT USING ELECTRIC SAWS. CARE SHOULD BE TAKEN NOT TO CHIP THE EDGES OF THE BRICKS. NO OVER-CUTTING OR WIDENING OF MORTAR JOINTS.

5.4 CLEAN THE EXISTING MORTAR IF IT IS DIRTY TO ACHIEVE A CLOSE MATCH.

5.5 IF A PREVIOUS RE-POINTING WORK INVOLVED THE USE OF THE WRONG COLOR OR PROFILE, REMOVE THIS INAPPROPRIATE MORTAR SECTIONS AND REPLACE IT WITH CORRECT COLOR UNLESS IT CONTAINS A HIGH CEMENT CONTENT WHICH IS VERY HARD AND DIFFICULT TO REMOVE IT WITHOUT DAMAGING THE SURROUNDING BRICK.

5.6 **MORTAR MIX:**
SOFT MORTAR WAS MOST COMMONLY USED TO RE-POINT MOST OF 19TH CENTURY HISTORICAL BUILDINGS. AND ITS MORTAR MIX SHOULD BE:

1 PART WHITE PORTLAND CEMENT (ASTM C 150)
2-1/2 PARTS LIME
5-6 PARTS SAND
PARTS ARE BY VOLUME

-MIX DRY INGREDIENTS FIRST BEFORE ADDING PORTABLE WATER
-USE DRY PIGMENTS (NATURAL OR SYNTHETIC STABLE OXIDE PIGMENTS) TO TINT OR COLOR MORTAR AND MIX ALL INGREDIENTS THOROUGHLY.

5.7 BRICK JOINTS MUST BE WET BEFORE RE-POINTING THE MORTAR PRESSED WELL BACK INTO THE JOINTS.

5.8 BRICK JOINTS SHALL MATCH TO THE ORIGINAL "FLUSH TYPE".

5.9 IN CASE IF THE BRICK IS CRACKED, CONSIDER TO USE A REPAIR GROUT OR EPOXY TO RESTORE TO THE ORIGINAL APPEARANCE.

5.10 RECONSTRUCTION OF MORTAR JOINTS SHALL BE PERFORMED ONLY WHEN THE TEMPERATURE REMAINS AT A CONSTANT 45 DEGREES IN FAHRENHEIT OR ABOVE FOR A 72-HOUR PERIOD FROM THE COMMENCEMENT OF THE WORK.

6. STUCCO

6.1 EXISTING STUCCO REFINISH AT SIDE WALL

-NO VISUAL DAMAGE OR CRACKS ON STUCCO SURFACES WERE OBSERVED EXCEPT FOR MINOR COLOR STAIN MARKS BELOW THE COPING STONE AT ROOF PARAPET LEVEL AND AREA OUTSIDE CHIMNEY WALL. THIS STAIN SEEMS CAUSED BY IMPROPER INSTALLATION OF COPING STONE WHICH ALLOW RAIN INFILTRATION INTO THE STONE JOINTS OR RAIN OVERRUN.

-REFINISH WORKSCOPE SHALL BE LIMITED TO STAIN REMOVAL/CLEANING / TOUCH UP STUCCO COAT OVER EXISTING SURFACE WITH THE LPC/OWNER SPECIFIED COLOR.

6.2 NEW STUCCO ON REAR FACADE (NEW EXTENSION AREA) & STAIR BULKHEAD :

-PROVIDE NEW CEMENTITIOUS STUCCO WITH THE OWNER/LPC SPECIFIED COLOR AT REAR BUILDING EXTENSION WALL AREA. ATTACH 18GA WIREMESH OR METAL LATH TO NEW CMU WALL WITH POWDER ACTUATED FASTENERS OR HARDENED CONCRETE STUB NAILS 16"O.C. MAX. HORIZONTALLY, 7"O.C. MAX. VERTICALLY. PROVIDE A CORNER BEAD AROUND WINDOW OPENING. REFER TO WALL SECTION DETAIL.

6.3 APPROVED STUCCO COAT PRODUCT: MASTERPROTECT HB200 (THOROCOAT 200)
PROPOSED STUCCO COLORS ARE
#9229 GRAY :OUTLAW @STAIR BULKHEAD
#9247 BROWN: COBBLESTONE PATH

7. REPAIR, REFINISH OF EXISTING ENTRY DOOR

7.1 EXISTING MAIN ENTRY DOOR AT FIRST FLOOR AND ITS WOODEN SURROUNDING PANEL MOLDINGS APPEARS TO BE PART OF ORIGINAL HISTORIC DECORATIVE FEATURE SHALL BE REPAIRED AND REFINISHED FOR REUSE. WORKSCOPE SHALL INCLUDE REPAIR OR REPLACE OF DOOR HARDWARE.

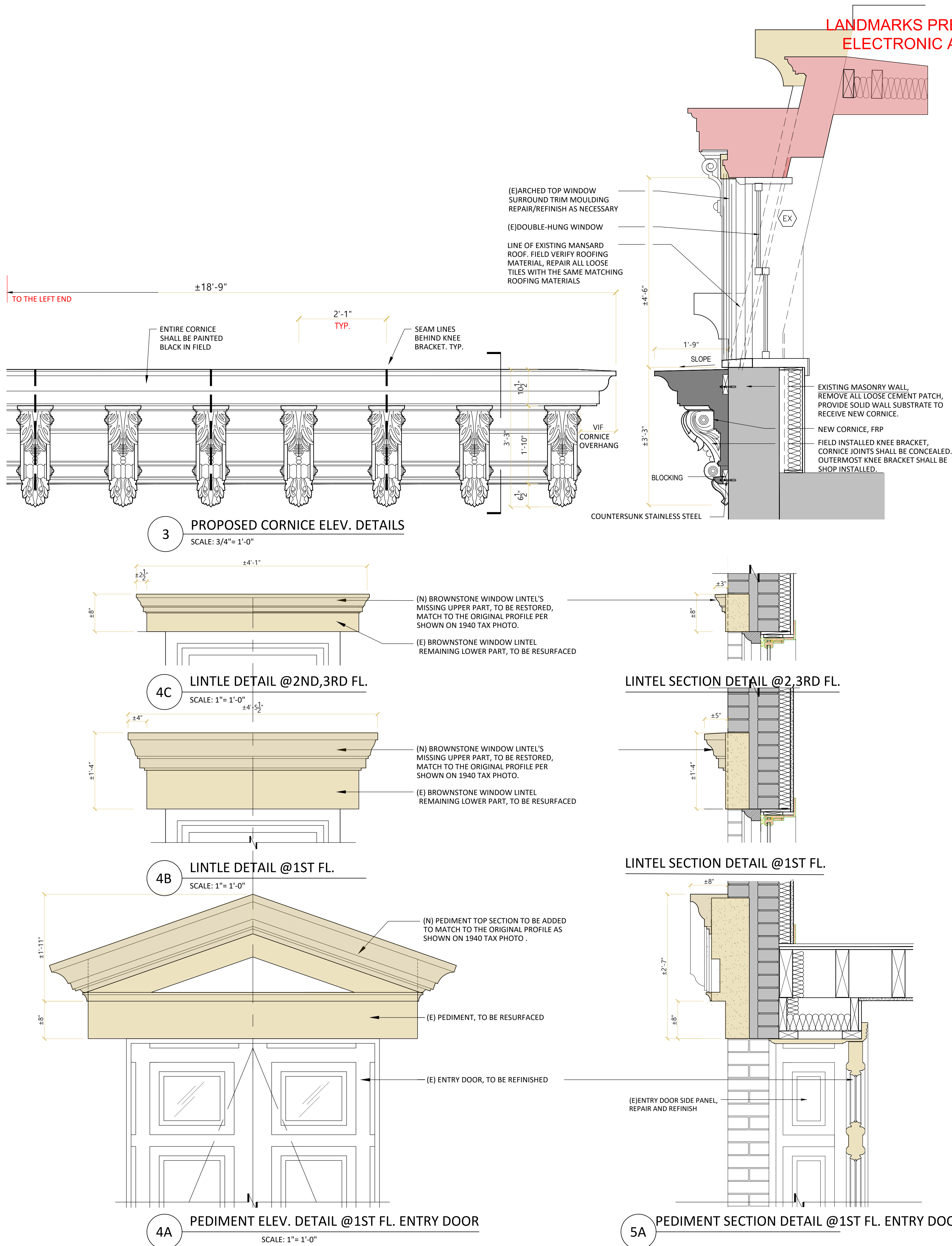
7.2 STRIPPING OFF PAINT LAYERS FROM DOOR/MOLDING SURFACES, SANDING, PATCHING ON ALL CHIPPED AREA AND STAINING AS PER COLOR/FINISH SPECIFICATION SELECTED BY OWNER/LPC.

8. WINDOWS

SEE WINDOW & DOOR SCHEDULES & NOTES ON A502.

9. RAILINGS

9.1 GENERAL REQUIREMENTS
RAILINGS AND PARAPETS AROUND STAIRWELLS, BALCONIES, AREAWAYS, AND ROOFS, AND OTHER RAILINGS IN SIMILAR LOCATIONS FOR THIS TWO FAMILY DWELLINGS SHALL BE DESIGNED TO RESIST THE SIMULTANEOUS APPLICATION OF A LATERAL FORCE OF 20 PLF PLUS A VERTICAL LOAD OF 20 PLF, BOTH APPLIED AT THE TOP OF THE RAILING. THE TOTAL LATERAL FORCE AND TOTAL VERTICAL LOAD SHALL BE AT LEAST 200 POUNDS EACH TO COMPLY WITH BC 27-558.



PROJECT :

40 SCHERMERHORN STREET
RESIDENCE
ELECTRONIC APPROVAL - 05/01/2023 - LP
40 Schermerhorn Street
Brooklyn, NY 11201

PROPERTY OWNER :

Ju Young Oh & Michael Kang
40 Schermerhorn Street
Brooklyn, NY 11201
T. 646.915.2399
Contact :
Michael Kang, owner, mskpublic@yahoo.com
Juyoung Oh, owner, juyoungoh@gmail.com

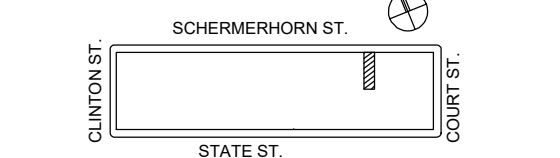
ARCHITECT :

KLC ARCHITECTS, PC
180 Maiden Lane, Suite#8A
New York, NY 10038
T. 212.947.0880,
Contact: Jay Cho, RA jc@klcapc.com

STRUCTURAL ENGINEER :

LB ENGINEERING, PC
325 West 38th Street, Suite 704
New York, NY 10018
T. 201.983.3344
Contact: James Gwangjin Oh, PE
james.benatg@gmail.com

KEY PLAN :



6	4/13/23	REV. PER LPC	COMMENTS
5	7/15/22	DOB FILING	
4	4/15/22	LPC FILING REV1	
3	2/5/22	LPC FILING	
2	2/22/21	OWNER REVIEW	
1	4/15/21	OWNER REVIEW	
NO.	DATE	ISSUE	
DOB STAMP			

DOB B-SCAN JOB # STICKER
DOB NOW #B00679292-11

SEAL & SIGNATURE :



SHEET TITLE
BUILDING FRONT ELEVATION & DETAILS

SCALE :

DATE :

PROJECT No : 210103

DRAWING BY : DK

CHK BY : JC

SHEET NUMBER :

A.502.01

CAD FILE No :

KLC\A210101\DRAWINGS\

PAGE No :

LANDMARKS PRESERVATION COMMISSION
ELECTRONIC APPROVAL - 05/01/2023 - LP

PROJECT :

40 SCHERMERHORN STREET
RESIDENCE
40 Schermerhorn Street
Brooklyn, NY 11201

PROPERTY OWNER :

Ju Young Oh & Michael Kang
40 Schermerhorn Street
Brooklyn, NY 11201
T. 646.915.2399
Contact :
Michael Kang, owner, mskpublic@yahoo.com
Juyoung Oh, owner, juyoungoh@gmail.com

ARCHITECT :

KLC ARCHITECTS, PC
180 Maiden Lane, Suite#8A
New York, NY 10038
T. 212.947.0880,
Contact: Jay Cho, RA jc@klcapc.com

STRUCTURAL ENGINEER :

LB ENGINEERING, PC
325 West 38th Street, Suite 704
New York, NY 10018
T. 201.983.3344
Contact: James Gwangjin Oh, PE
james.benatg@gmail.com

